

# Agenda

## Ordinary Meeting

**Wednesday, 25 June 2025**

**Time: 9:00 am**  
**Location: Council Chambers**  
**82 Brisbane Street**  
**BEAUDESERT QLD 4285**

**Scenic Rim Regional Council  
Ordinary Meeting  
Wednesday, 25 June 2025  
Agenda**

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- 3 Apologies**
- 4 Prayers**
- 5 Public Question Time**
- 6 Declarations of Prescribed or Declarable Conflict of Interest by Members**
- 7 Announcements / Mayoral Minutes**
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- 9 Confirmation of Minutes**  
Ordinary Meeting - 28 May 2025  
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- 10 Business Arising from Previous Minutes**

## 11 Consideration of Business of Meeting

### Executive

#### 11.1 Corporate Plan 2025-2030

**Executive Officer:** Chief Executive Officer

**Item Author:** Corporate Strategy and Performance Officer /  
Acting Manager Customer, Community and Culture

**Attachments:**

1. Corporate Plan 2025-2030 (under separate cover) 

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### Councillor Portfolio / Representation

Not applicable.

### Local Government Area Division

This report relates to the whole Scenic Rim region.

### Executive Summary

The Corporate Plan is a legislative requirement and Council's current Corporate Plan, Scenic Rim 2026, is due to expire next year. A Corporate Plan sets the direction for the organisation over a five year period and informs the development of Council's Operational Plan and Budget. Following a number of Councillor workshops and internal discussions, the Draft Corporate Plan 2025-2030 was endorsed for consultation at the Ordinary Meeting held on 26 March 2025. Following consultation on the Draft Corporate Plan 2025-2030 from 16 April to 12 May 2025, this report provides an overview of community feedback and presents the final version of the Corporate Plan for adoption.

### Recommendation

That:

1. Council note the results of the community consultation undertaken between 16 April 2025 and 12 May 2025 outlined in this report;
2. Council adopt the Corporate Plan 2025-2030 (Attachment 1);
3. Council delegate authority to the Chief Executive Officer to make minor grammatical and formatting changes to the Corporate Plan 2025-2030, if required, after its adoption, and prior to publishing on Council's website for public access, noting any such changes will be advised to Councillors prior to publishing; and
4. Council note that the adopted Corporate Plan 2025-2030 will replace both the Community Plan 2011-2026 and Council's current Corporate Plan, Scenic Rim 2026.

## Previous Council Considerations / Resolutions

At the Ordinary Meeting held on 26 March 2025, it was resolved that:

1. Council endorse the draft Corporate Plan 2025-2030 for the purpose of community consultation on the plan during April and May 2025;
2. Council delegate authority to the Chief Executive Officer to make minor grammatical and formatting changes to the draft Corporate Plan 2025-2030, if required, after its endorsement, and prior to publishing on the Let's Talk Scenic Rim website for public access, noting any such changes will be advised to Councillors prior to publishing; and
3. Council note that should the final version of the Corporate Plan 2025-2030 be adopted later this year, it will replace both the Community Plan 2011-2026 and Council's current Corporate Plan, Scenic Rim 2026.

## Report / Background

Under the *Local Government Act 2009* and *Local Government Regulation 2012*, Council is required to prepare a Corporate Plan. The Corporate Plan sets the direction for Council over a five year period.

Council's current Corporate Plan, Scenic Rim 2026, was adopted in 2021 and expires in 2026. Council also has a Community Plan, Scenic Rim Community Plan 2011-2026, which also expires next year. Both documents are available on Council's website. When the Community Plan was developed, it was a requirement for local governments to develop a Community Plan as well as a Corporate Plan, however, as there is no longer any requirement to adopt a Community Plan, the new Corporate Plan will be the peak document for Council, replacing both the Community Plan and the Corporate Plan.

Following the Local Government Elections held in March 2024, the Mayor and Councillors confirmed their desire to develop a new Corporate Plan to reflect plans and priorities for the period 2025-2030. Under the legislation, Council may adopt a new Corporate Plan at any time. A series of workshops were held in November 2024 and January 2024. At the Ordinary Meeting held on 26 March 2025, Council endorsed the Draft Corporate Plan 2025-2030 for community consultation.

Community feedback on the Draft Corporate Plan 2025-2030 was received between 16 April and 12 May 2025. Feedback was accepted online, through Council's engagement platform, Let's Talk Scenic Rim, hard copy responses and through three face to face events. Council held engagement events, which focused on the Draft Corporate Plan 2025-2030 and the Draft Budget 2025-2026 on 30 April 2025 in Beaudesert, 1 May 2025 in Boonah and 6 May 2025 in Tamborine Mountain. There were 82 attendees at the face to face events and 171 written responses to the consultation.

Overall, the community consultation suggests support for the vision, with over 80% of the respondents to the survey agreeing with the vision statement in the Draft Corporate Plan 2025-2030. Those who did not support the vision raised questions about the term 'world-renowned' and whether Council had the capacity to deliver this vision. There were also concerns about the level of growth within the region and how this may impact environmental features and community spirit. At the face to face workshops, attendees were asked to consider what they love about Scenic Rim both now and into the future. Those discussions aligned strongly with the proposed vision.

The Draft Corporate Plan 2025-2030 included five Guiding Principles, which spell out the word FOCUS. Community feedback suggests that efficiency and value for money are key concerns. Issues were raised about Council's responsiveness to customer queries, in particular where queries required technical review and response. Finally, there was a desire to reflect the importance of local community groups and volunteers. As a result of this feedback, changes are proposed to this section in the final version of the Plan.

There was overall support for the Strategic Goals, although some concern expressed about effective implementation and ensuring sufficient investment to achieve the necessary outcomes. Community feedback emphasised the importance of careful management of growth and appropriate infrastructure for the region as population increases. Under Economic Development, support for small business emerged as a key priority. Recycling and weed management were seen as particularly important by community. Community feedback emphasised how important strong community spirit and connection were and noted that Council's played an important role in supporting community resilience and preparedness for disaster events. There was significant feedback in support of improved facilities for sport and recreation.

Community feedback has been carefully considered and, where appropriate, changes incorporated into the final version of the Corporate Plan 2025-2030, which is attached as Attachment 1 to this report. The final version also includes additional sections related to the implementation and measurement of the Corporate Plan.

### **Budget / Financial Implications**

The Corporate Plan provides the strategic direction for the organisation and will inform the finalisation of the Operational Plan 2025-2026 and Budget 2025-2026. Preparation of the Budget 2025-26 and Operational Plan 2025-26 are underway and will be presented for adoption in July 2025.

To support the development of the Corporate Plan, budget for consultancy for facilitation and advice was identified. This was primarily be used for engagement activities with the Mayor and Councillors prior to the Draft Corporate Plan 2025-2030 being endorsed. There were costs associated with the community engagement activities, although these costs were minimised through combined consultation activities with already planned budget sessions.

### **Strategic Implications**

#### *Operational Plan*

Theme: 3. Open and Responsive Government

Key Area of Focus: Ongoing integrity of Council's practice and processes

#### *Legal / Statutory Implications*

*Local Government Act 2009* and *Local Government Regulation 2012* set out the legislative requirements for Council's corporate planning, operational planning and budget process.

### **Risks**

#### Strategic Risks

The following Level 1 and Level 2 (strategic) risks are relevant to the matters considered in this report:

SR52 Ineffective and/or unrealistic strategic plans which are not appropriately scoped or resourced, resulting in missed opportunities, re-work, failure to deliver objectives and loss of confidence by community.

Risk Summary

<b>Category</b>	<b>Explanation</b>
Governance, Risk & Compliance  Failure to meet the requirements of the Local Government Act 2009 and Local Government Regulation 2012.	The legislative requirements for corporate planning, operational planning and budget are outlined in the Local Government Act 2009 and the Local Government Regulation 2012. Council needs to ensure that a revised corporate plan meets the legislative requirements and is developed in sufficient time to inform budget and operational planning.
Reputation, Community & Civic Leadership  Limited engagement from community consultation processes result in a plan which does not reflect community priorities.	Community feedback is an important part of the development of the Corporate Plan. Failure to undertake appropriate engagement activities and consider feedback may result in community dissatisfaction with the Plan.
Workforce  Limited feedback from Council employees and leaders may impact quality of document.	The development of the Corporate Plan is an important process for Council's existing workforce and for the attraction of new employees. It provides strategic direction and sets the priorities for five years. Engagement from Council's workforce will help to ensure the plan aligns to identified priorities and is deliverable.

**Human Rights Implications**

No human rights have been impacted by any actions recommended in this report.

**Consultation**

The Draft Corporate Plan 2025-2030 was developed through a series of workshops with Mayor and Councillors in November 2024 and January 2025 which was facilitated by an external consultant. Draft content was further developed, in consultation with relevant managers and subject matter experts. The Draft Corporate Plan 2025-2030 was endorsed at the Ordinary Meeting held on 26 March 2025. Community consultation on the draft Corporate Plan was undertaken from 16 April to 12 May 2025, and has informed the development of the final version which is presented for adoption in June 2025.

**Conclusion**

The final version of the Corporate Plan 2025-2030 has been developed following careful consideration of consultation feedback, and informed by the input of Mayor and Councillors. Consultation was undertaken during April and May 2025. Analysis of feedback informs the final version of the Corporate Plan, which is presented for adoption.

**Options**Option 1

That:

1. Council note the results of the community consultation undertaken between 16 April 2025 and 12 May 2025 outlined in this report;
2. Council adopt the Corporate Plan 2025-2030 (Attachment 1);
3. Council delegate authority to the Chief Executive Officer to make minor grammatical and formatting changes to the Corporate Plan 2025-2030, if required, after its adoption, and prior to publishing on Council's website for public access, noting any such changes will be advised to Councillors prior to publishing; and
4. Council note that the adopted Corporate Plan 2025-2030 will replace both the Community Plan 2011-2026 and Council's current Corporate Plan, Scenic Rim 2026.

Option 2

That Council delay adoption of the Corporate Plan 2025-2030 to allow further time to consider consultation feedback, noting that delaying adoption may impact on timeframes for budget development and the finalisation of the Operational Plan 2025-2026, as both are required to align with Council's Corporate Plan.

**11.2 Special or Show Holiday 2025**

**Executive Officer:** Chief Executive Officer

**Item Author:** Senior Executive Assistant -  
Office of the Mayor and Chief Executive Officer

**Attachments:**

1. Office of Industrial Relations - Requests for 2026 Special Holidays [↓](#) 

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**Councillor Portfolio**

Not applicable.

**Local Government Area Division**

This report relates to the whole Scenic Rim region.

**Executive Summary**

Each year, in accordance with the *Holidays Act 1983*, local governments are invited to request special holidays to be observed during the following year for districts in their area.

On 10 June 2025, the Chief Executive Officer received correspondence from the Office of Industrial Relations, inviting Council to consider requesting special and show holidays for 2026 (refer to Attachment 1).

**Recommendation**

That:

1. Council note the community feedback of May 2022, that the first Monday of the annual Royal Queensland Show is the preferred public holiday for the Scenic Rim region; and
2. Council resolve to nominate Monday, 10 August 2026 as a public holiday for the Scenic Rim region for 2026.

**Previous Council Considerations / Resolutions**

At the Ordinary Meeting held on 19 July 2022, Council resolved that:

1. Council thank the community for their feedback regarding future Royal Queensland Show holidays for the Scenic Rim region as detailed in the attached report;
2. Council confirm the first Monday of the annual Royal Queensland Show as the preferred public holiday for the Scenic Rim region; and
3. In response to the current request from the Office of Industrial Relations, Council therefore nominate Monday, 14 August 2023 as a public holiday for the Scenic Rim region for 2023.

**Report / Background**

A local council requested special holiday is a public holiday only if it is in respect of an agricultural, horticultural or industrial show. Under federal industrial relations legislation, employees are entitled to be absent from work or may refuse to work in reasonable circumstances on a public holiday, without loss of ordinary pay. Employees who work on a public holiday are entitled to penalty rates in accordance with their award or agreement.

A special holiday for any other reason is not a public holiday but a bank holiday. The *Trading (Allowable Hours) Act 1990* provides that a bank holiday is only a holiday for banks and insurance offices. Under a directive of the *Public Sector Act 2022*, a special holiday is a holiday for public service employees unless otherwise determined by a chief executive.

Upon receiving Ministerial approval, Queensland councils that have requested special and show holidays will receive written advice and the holidays will be published in the Queensland Government Gazette.

**Budget / Financial Implications**

Not applicable.

**Strategic Implications**

*Operational Plan*

Theme: 3. Open and Responsive Government

Key Area of Focus: Strengthened community engagement and partnerships that improve shared expectation and commitment

*Legal / Statutory Implications*

Not applicable.

**Risks**

Strategic Risks

The following Level 1 and Level 2 (strategic) risks are relevant to the matters considered in this report:

SR54 Ineffectively managing the political and government departmental relationships/partnerships, resulting in Council not achieving its major strategic objectives.

Risk Summary

Category	Explanation
Reputation, Community & Civic Leadership  Adverse impact on Council's reputation due to inattention to statutory obligations and responsibilities.	Timely responses to State Government correspondence ensures that Council meets its statutory obligations and responsibilities. In keeping with long-standing tradition, it is the community's expectation that Council will request that an annual show holiday be gazetted for the region.

**Human Rights Implications**

No human rights have been impacted by any actions recommended in this report.

**Consultation**

Community engagement was undertaken in 2022.

**Conclusion**

During May 2022, the Scenic Rim community was engaged in consultation on the preferred date for the Royal Queensland Show (EKKA) holiday from 2023 onward. The community's preference was Monday, the first week day of the EKKA week.

The 2026 EKKA is scheduled for 8 to 16 August 2026, and therefore Monday, 10 August 2026 is the recommended date.

**Options**Option 1

That:

1. Council note the community feedback of May 2022 that the first Monday of the annual Royal Queensland Show is the preferred public holiday for the Scenic Rim region; and
2. Council resolve to nominate Monday, 10 August 2026 as a public holiday for the Scenic Rim region for 2026.

Option 2

That:

1. Council note the community feedback of May 2022 that the first Monday of the annual Royal Queensland Show is the preferred public holiday for the Scenic Rim region; but
2. Council nominate an alternative date as a public holiday for the Scenic Rim region for 2026.



Queensland  
Government

Office of  
Industrial Relations

Department of State  
Development and  
Infrastructure

10 June 2025

Dear Chief Executive Officer,

As you may be aware, each year in accordance with the *Holidays Act 1983*, local governments are invited to request special holidays to be observed during the following year for districts in their area.

If you wish to request special holidays to be observed during 2026 for districts in your local government area, please complete the attached request form and submit via email to [info@oir.qld.gov.au](mailto:info@oir.qld.gov.au) by no later than **Friday, 25 July 2025**.

A local council requested special holiday is a public holiday only if it is in respect of an agricultural, horticultural or industrial show. Under federal industrial relations legislation, employees are entitled to be absent from work or may refuse to work in reasonable circumstances on a public holiday, without loss of ordinary pay. Employees who work on a public holiday are entitled to penalty rates in accordance with their award or agreement.

A special holiday for any other reason is not a public holiday but a bank holiday. The *Trading (Allowable Hours) Act 1990*, provides that a bank holiday is only a holiday for banks and insurance offices. Under a directive of the *Public Sector Act 2022*, a special holiday is a holiday for public service employees unless otherwise determined by a chief executive.

Upon receiving Ministerial approval, the holidays will be published in the Queensland Government Gazette. Confirmation of the approved special holidays together with a link to the Queensland Government Gazette will be emailed to your office.

Should you require further information regarding this process, please contact Patricia Faulkner, Office of Industrial Relations on (07) 3406 9845 or email [patricia.faulkner@oir.qld.gov.au](mailto:patricia.faulkner@oir.qld.gov.au).

I also wish to advise a review of the administrative processes for the appointment of special holidays is currently underway. The review will investigate options for a more streamlined process for future special holiday appointments.

Yours sincerely

**Shane Donovan**  
A/Executive Director, Industrial Relations  
Office of Industrial Relations

1 William Street Brisbane  
Queensland 4000 Australia  
GPO Box 69 Brisbane  
Queensland 4001 Australia  
**Telephone 13 QGOV (13 74 68)**  
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[www.business.qld.gov.au](http://www.business.qld.gov.au)  
ABN 94 496 188 983

## Customer & Regional Prosperity

### 11.3 MCU24/160 Development Permit for Other Change (Material Change of Use - Intensive animal industry) at Unnamed Road, Tamrookum, described as Lot 4 RP44913, Lot 4 RP50685, Lot 1 RP58176, Lot 3 RP58176 and Lot 2 SP263574

**Executive Officer:** Acting General Manager Customer and Regional Prosperity

**Item Author:** Senior Development Assessment Planner /  
Team Leader Development Assessment

#### Attachments:

1. Proposal Plans  
2. Geotechnical Investigation and Landslide Risk Assessment (under separate cover) 
3. Odour Assessment Report (under separate cover) 
4. Site Based Environmental Management Plan (under separate cover) 
5. Traffic Impact Assessment (under separate cover) 
6. SARA Referral Response (under separate cover) 

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## Councillor Portfolio / Representation

Not applicable.

## Local Government Area Division

This report relates to Division 5.

## Executive Summary

Council is in receipt of a Change ('Other') development application for a Development Permit for a Material Change of Use for Intensive Animal Industry use over a property located at Unnamed Road, Tamrookum and described as Lot 4 RP44913, Lot 4 RP50685, Lot 1 RP58176, Lot 3 RP58176 and Lot 2 SP263574.

The site is located in the Rural Zone. Under the Scenic Rim Planning Scheme 2020 (as amended 30 June 2023), within the Rural Zone, an Intensive Animal Industry use is subject to Impact Assessment as the use is not Accepted subject to requirements and involves an Environmentally Relevant Activity.

The proposed development has demonstrated compliance with the relevant Codes of the Scenic Rim Planning Scheme 2020 (as amended 30 June 2023) through the submitted material within the application.

As such, it is recommended the Change (Other) development application for a Development Permit for a Material Change of Use for Intensive animal industry over the property located at Unnamed Road, Tamrookum and described as Lot 4 RP44913, Lot 4 RP50685, Lot 1 RP58176, Lot 3 RP58176 and Lot 2 SP26357 be approved, subject to reasonable and relevant conditions.

**Recommendation**

That:

1. Council receive and note the report titled "MCU24/160 Development Permit for Other Change (Material Change of Use - Intensive animal industry) at Unnamed Road, Tamrookum, described as Lot 4 RP44913, Lot 4 RP50685, Lot 1 RP58176, Lot 3 RP58176 and Lot 2 SP263574";
2. Council approve development application MCU24/160, and grant a Development Permit for Material Change of Use for Intensive animal industry, subject to the conditions as outlined in this report; and
3. Council note that any subsequent requests for a negotiated decision notice and/or change applications to the approval (MCU24/160), as well as any administrative corrections to the conditions will be processed via delegated authority where the changes would not significantly alter the original decision.

**Previous Council Considerations / Resolutions**

**Report / Background**

**Real Property Description:** Lot 4 RP44913, Lot 4 RP50685, Lot 1 RP58176, Lot 3 RP58176, Lot 2 SP263574  
**Address of property:** Unnamed Road, Tamrookum  
**Site area:** 1,960,036m<sup>2</sup>  
**Proposal:** Intensive animal industry (expansion)

1. Currency Period of Approval

The currency period for this development approval is six years, starting the day that this development approval takes effect. (Refer to Section 85 "Lapsing of approval at end of currency period" of the *Planning Act 2016*.)

2. Conditions of Approval:

- a) A Development Permit is given for Material Change of Use for Intensive animal industry, subject to the following conditions:

No.	Condition	Timing
1.	<p><b>PLANS &amp; DOCUMENTS</b></p> <p>Development being undertaken generally in accordance with Plans and the submitted material referenced in the tables below and revived by Council, except so far as it is modified by the conditions of this approval. Any minor changes may be requested by the applicant in accordance with the <i>Planning Act 2016</i> without the need for a further Development Application or a Material Change of Use.</p>	At all times.

No.	Condition	Timing																																																											
	<table border="1"> <thead> <tr> <th data-bbox="341 293 549 327">Plan Title</th> <th data-bbox="549 293 740 327">Reference</th> <th data-bbox="740 293 941 327">Author</th> <th data-bbox="941 293 1094 327">Date</th> </tr> </thead> <tr> <td data-bbox="341 327 549 454">Overall Site Layout (as amended by Council in red)</td> <td data-bbox="549 327 740 454">ACS-230099-POUL-03, Rev A</td> <td data-bbox="740 327 941 454">ACS Engineers</td> <td data-bbox="941 327 1094 454">3/12/2024</td> </tr> <tr> <td data-bbox="341 454 549 607">Detailed Layout Plan (as amended by Council in red)</td> <td data-bbox="549 454 740 607">ACS-230099-POUL-04, Rev A</td> <td data-bbox="740 454 941 607">ACS Engineers</td> <td data-bbox="941 454 1094 607">3/12/2024</td> </tr> <tr> <td data-bbox="341 607 549 757">Access Road Layout Plan (as amended by Council in red)</td> <td data-bbox="549 607 740 757">ACS-230099-POUL-06, Rev A</td> <td data-bbox="740 607 941 757">ACS Engineers</td> <td data-bbox="941 607 1094 757">3/12/2024</td> </tr> <tr> <td data-bbox="341 757 549 907">Bulk Earthworks Plan (as amended by Council in red)</td> <td data-bbox="549 757 740 907">ACS-230099-POUL-07, Rev A</td> <td data-bbox="740 757 941 907">ACS Engineers</td> <td data-bbox="941 757 1094 907">3/12/2024</td> </tr> <tr> <td data-bbox="341 907 549 1003">Shed Typical Sections</td> <td data-bbox="549 907 740 1003">ACS-230099-POUL-08, Rev A</td> <td data-bbox="740 907 941 1003">ACS Engineers</td> <td data-bbox="941 907 1094 1003">3/12/2024</td> </tr> <tr> <td data-bbox="341 1003 549 1099">Sections - Sheet 1 of 3</td> <td data-bbox="549 1003 740 1099">ACS-230099-POUL-09, Rev A</td> <td data-bbox="740 1003 941 1099">ACS Engineers</td> <td data-bbox="941 1003 1094 1099">3/12/2024</td> </tr> <tr> <td data-bbox="341 1099 549 1196">Sections - Sheet 2 of 3</td> <td data-bbox="549 1099 740 1196">ACS-230099-POUL-10, Rev A</td> <td data-bbox="740 1099 941 1196">ACS Engineers</td> <td data-bbox="941 1099 1094 1196">3/12/2024</td> </tr> <tr> <td data-bbox="341 1196 549 1292">Sections - Sheet 3 of 3</td> <td data-bbox="549 1196 740 1292">ACS-230099-POUL-11, Rev A</td> <td data-bbox="740 1196 941 1292">ACS Engineers</td> <td data-bbox="941 1196 1094 1292">3/12/2024</td> </tr> <tr> <td data-bbox="341 1292 549 1420">Access Road Longitudinal Section - Page 1 of 2</td> <td data-bbox="549 1292 740 1420">ACS-230099-POUL-12, Rev A</td> <td data-bbox="740 1292 941 1420">ACS Engineers</td> <td data-bbox="941 1292 1094 1420">3/12/2024</td> </tr> <tr> <td data-bbox="341 1420 549 1547">Access Road Longitudinal Section - Page 2 of 2</td> <td data-bbox="549 1420 740 1547">ACS-230099-POUL-13, Rev A</td> <td data-bbox="740 1420 941 1547">ACS Engineers</td> <td data-bbox="941 1420 1094 1547">3/12/2024</td> </tr> <tr> <td data-bbox="341 1547 549 1630">Vegetation Environmental Buffer Layout</td> <td data-bbox="549 1547 740 1630">ACS-230099-POUL-14, Rev A</td> <td data-bbox="740 1547 941 1630">ACS Engineers</td> <td data-bbox="941 1547 1094 1630">3/12/2024</td> </tr> <tr> <td data-bbox="341 1630 549 1780">Erosion &amp; 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No.	Condition				Timing
	<b>Erosion &amp; Sediment Control Layout Plan</b>	<b>ACS-230099-POUL-19, Rev A</b>	<b>ACS Engineers</b>	<b>3/12/2024</b>	
	Cover Sheet	CS01	Santrev	07/09/2022	
	Site Plan	D 00	Santrev	07/09/2022	
	Farm Layout	D 01	Santrev	07/09/2022	
	Single Shed Layout	D 02	Santrev	07/09/2022	
	Shed Elevations	D 03	Santrev	07/09/2022	
	Shed Access Road Layout Plan	140101-C08, Revision P2	Raycon Engineers Pty Ltd	09/05/2014	
<b>Table 1: Approved Plans</b>					
	<b>Plan Title</b>	<b>Reference</b>	<b>Author</b>	<b>Date</b>	
	<b>Singh Tamrookum – Farm Expansion Odour Assessment</b>	<b>Job:23-128, Version R1-1</b>	<b>Astute Environmental Consulting</b>	<b>2/12/2024</b>	
	<b>Site Based Environmental Management Plan - Addendum</b>	<b>230099, Revision 1</b>	<b>ACS Engineers</b>	<b>03/12/2024</b>	
	<b>Geotechnical Investigation and Landslide Risk Assessment</b>	<b>Job No.24-424, Ref. 6937</b>	<b>Qualtest Geotechnical and Laboratory</b>	<b>10/10/2024</b>	
	<b>Stormwater Management Plan</b>	<b>230099, Rev 2</b>	<b>ACS Engineers</b>	<b>25/02/2025</b>	
	Stormwater Management Plan	8129 - Appendix D SWMP	FSA Consulting	24 March 2014	
	Traffic Engineering Report	Revision 1	TTM	12/05/2014	
	Tamrookum Level Crossing Assessment	Version 2.0 Final (Prepared by Geoff Clark)	Orion Rail Pty Ltd	12/05/2014	
<b>Table 2: Endorsed documents</b>					

No.	Condition	Timing
2.	<p><b>DEFINITION COMPLIANCE AND EXCLUSIONS</b></p> <p>The approved use and associated ancillary activities shall at all times comply with the definition of an <b>Intensive animal industry</b> as identified under <b>Schedule 1 - Definitions, SC1.1 Use Definitions of the Scenic Rim Planning Scheme 2020.</b></p>	At all times.
3.	<p><b>COMMENCEMENT OF USE</b></p> <p>Submit in writing to Council, a self-assessment (with evidence) confirming all conditions have been satisfied and</p> <p><del>Prior to the use commencing, The Applicant shall advise Council's Planning Department in writing, of the proposed commencement date.</del></p>	At least two weeks prior to the use commencing.
4.	<p><b>WORKS - APPLICANT'S EXPENSE</b></p> <p>All works, services, facilities and/or public utility alterations required by this approval or stated condition/s, whether carried out by the Council or otherwise, shall be at the Applicant's expense unless otherwise specified.</p>	At all times.
5.	<p><b>COMPOST</b></p> <p>Any composting material or the like that is produced onsite as a result of the approved development is to be used only on the subject site identified within this approval.</p>	At all times.
6.	<p><b>LANDSCAPING PLAN – GENERAL</b></p> <p><del>Prior to the lodgement of any future applications, the Applicant is to</del> Submit a Landscaping Plan, prepared by a suitably qualified person and to the satisfaction of Council, in accordance with the provisions of <del>Landscaping Code and Planning Scheme Policy No.6 of Council's Beaudesert Shire Planning Scheme 2007.</del> the <b>Landscaping Code and Planning Scheme Policy 2 - Landscape Design of the Scenic Rim Planning Scheme 2020.</b></p> <p>The Landscaping Plan must identify:</p> <p><u>Existing 10 Sheds</u></p> <ol style="list-style-type: none"> <li>a) Vegetation to be cleared;</li> <li>b) Area to be allocated as the vegetative buffer;</li> <li>c) Area to be allocated as the vegetative buffer for stormwater runoff into the holding dam; and</li> <li>d) The proposed areas to be revegetated as part of the new development including species selection</li> <li>e) A minimum of 10 metre wide landscaping must be provided to screen and minimise the bulk of the approved buildings as viewed from Mt Lindesay Highway. The landscaping must be in accordance with Planning Scheme Policy No.6 of Council's Beaudesert Shire</li> </ol>	Prior to the use commencing and as part of the operational works approval.

No.	Condition	Timing
	<p>Planning Scheme 2007. Landscaping of the site is to occur prior to the commencement of use.</p> <p>f) The vegetation and landscaping buffer areas must include a mix of mature trees, shrubs and groundcovers.</p> <p>g) Species selected from Planning Scheme Policy 2 - Landscape Design - Part 4 Preferred Landscape Species. Plants listed in the <i>Biosecurity Act 2014</i> are not used.</p> <p><u>New 6 Sheds</u></p> <p>The Landscaping Plan must be in accordance with approved Vegetation Environmental Buffer Layout Plan (ACS-230099-POUL-14, Rev A) prepared by ACS Engineers, dated 3/12/2024 and the following:</p> <p>The Landscaping Plan must be in accordance with approved Vegetation Environmental Buffer Layout Plan (ACS-230099-POUL-14, Rev A) prepared by ACS Engineers, dated 3/12/2024 and the following:</p> <p>a) Landscape buffers to be minimum 10 metres wide located to the north, west and south of the approved sheds</p> <p>b) Vegetation Environmental Buffer to be 30 metres wide located to the east of the approved sheds.</p> <p>c) The landscaping must include a mix of mature trees, shrubs and groundcovers.</p> <p>d) Species selected from Planning Scheme Policy 2 - Landscape Design - Part 4 Preferred Landscape Species.</p> <p>e) Plants listed in the <i>Biosecurity Act 2014</i> are not used.</p> <p>The landscaping buffers and vegetation environment buffers are to be maintained in perpetuity.</p> <p>Submit landscape plans as part of an application for operational works.</p>	
7.	<p><b>EXISTING VEGETATION - PRESERVATION</b></p> <p>The landscaping of the site and/or landscaping plan shall incorporate the preservation of existing vegetation, where not required to be cleared for the purpose of this approval. Any significant vegetation that is removed or damaged must be replaced with mature vegetation.</p>	At all times.
8.	<p><b>SITE MAINTENANCE</b></p> <p>The site shall be maintained in a clean and orderly state at all times.</p>	At all times.
9.	<p><b>LIMITATION ON BIRD AND SHED NUMBERS</b></p> <p>A maximum of <del>440,000</del> 740,000 birds and <del>40</del> 16 sheds shall be permitted on site at any one time.</p>	At all times.

No.	Condition	Timing
10.	<p><b>SIGNS - FORMAT AND OPERATION</b></p> <p>Signs shall comply with the relevant provisions under the Advertising Devices Code in the Beaudesert Shire Planning Scheme 2007 and shall be of a format and appearance that is in accordance with the existing character of the built and natural environments. Signs shall have regard for local amenity and not be illuminated, flashing, moving or rotating.</p>	At all times.
11.	<p><b>CAR PARKING NUMBERS</b></p> <p>The developer is to make provision for the establishment of adequate car parking on site to serve the approved use (minimum 1 space per 2 employees) and for day visitors to the site. <del>The car parking spaces shall be established prior to the commencement of the approved use.</del></p>	Prior to the commencement of use.
12.	<p><b>CAR PARKING &amp; DRIVEWAYS – GRAVEL</b></p> <p>All parking areas, <del>internal roadways</del> driveways, circulation aisles and manoeuvring areas are to be designed and constructed in accordance with AS 2890.1 - 2004, <del>and AS 2890.2 – 2002</del> AS 2890.2 – 2018 and <del>Council's Design &amp; Construction Manual</del> Council's Planning Scheme. The completed works will be certified by a Registered Professional Engineer of Queensland (RPEQ) as having been constructed in accordance with good engineering practice to a standard reasonable for commercial purposes.</p> <p>Access driveways must be fully contained within the alignment of the access easement. Dust suppression measures are to be put in place at all times. <del>The works required by this condition are to be completed prior to the commencement of the use.</del></p>	Prior to the commencement of use.
13.	<p><b>CAR PARKING ON-SITE</b></p> <p>All vehicles under the control of the party(ies) charged with the overall responsibility for the operation of the facility and any ancillary staff will be parked wholly within the curtilage of the site. All vehicle movements to and from the site, inclusive of service vehicles, are to be conducted in forward gear. <del>The requirements of this condition are to be adhered to for the lifetime of the approved use.</del></p>	At all times.
14.	<p><b>VEHICLE LOADING / UNLOADING</b></p> <p>All loading and unloading of vehicles associated with the approved uses, including the pick-up and/or delivery of goods and materials, will be conducted from within the curtilage of the site. <del>The requirements of this condition are to be adhered to for the lifetime of the approved use.</del></p>	At all times.

No.	Condition	Timing
15.	<p><b>ADVERSE DRAINAGE IMPACT - GENERAL</b></p> <p>Drainage from the development works / building works shall not adversely impact upon adjacent properties. No ponding, concentration or redirection of stormwater shall occur onto adjoining land.</p>	At all times.
16.	<p><b>STORMWATER DISCHARGE AND DISPOSAL</b></p> <p>The developer is to make <b>development must make</b> provision for the discharge of stormwater drainage flows <b>for the collection and disposal of stormwater drainage flows</b> to a legal point of discharge. <del>The Developer shall provide all necessary stormwater drainage; such drainage works shall be designed and constructed in accordance with the Queensland Urban Drainage Manual (QUDM).</del> <b>the form of said collection and discharge will be in accordance with the provisions of Queensland Urban Drainage Manual (QUDM). The works must be generally in accordance with the strategy outlined in Site Based Stormwater Management Plan, Rev 2 prepared by ACS Engineers dated 25/02/2025.</b></p> <p>The completed works are to be certified by a Registered Professional Engineer of Queensland (RPEQ) as having been constructed in accordance with good engineering practice. <del>The works required by this condition are to be completed prior to the commencement of the use.</del></p>	Prior to the commencement of use.
17.	<p><b>EROSION CONTROL</b></p> <p><del>The Applicant is responsible for implementation of</del> <b>The development must implement</b> erosion control measures designed to minimise soil movement and to minimise silt loads entering drainage lines and watercourses as a result of either the development works / building works. <b>Such control measures are to be in accordance with "Best Practice Erosion and Sediment Control, IECA, 2008".</b></p>	At all times.
18.	<p><b>SEDIMENT AND EROSION CONTROL MANAGEMENT PLAN (SECMP)</b></p> <p>The Applicant is to prepare and implement a comprehensive Erosion and Sediment Control Program. The report is to comply with <i>"Soil Erosion and Sediment Control: Engineering Guidelines for Queensland Construction Sites, Institute of Engineers, Australia 1996"</i>.</p>	Prior to the commencement of use.

No.	Condition	Timing
19.	<p><b>ADEQUATE WATER SUPPLY</b></p> <p>The Applicant is to make provision for the establishment of an adequate water supply system capable of servicing the development. Details on the proposed method of providing an adequate water supply are to be submitted as part of a Development Application for <i>Plumbing and Drainage Works</i>. <del>The requirements of this condition are to be completed prior to the commencement of the approved use.</del></p>	<p>Prior to the commencement of use.</p>
20.	<p><b>WASTEWATER DISPOSAL - GENERAL</b></p> <p>The Applicant is to make <u>provision for</u> the design and construction of an adequate wastewater disposal system capable of servicing the proposed development so as to adequately provide for the treatment and disposal of wastewater on-site.</p> <p>The wastewater disposal system is to conform with the provisions of the Department of Infrastructure and Planning “Queensland Development Code”, the “Queensland Plumbing and Wastewater (QPW) Code” and AS1547-2012 Details on the proposed method of treatment and disposal of wastewater are to be submitted as part of a Development Application for <i>Plumbing and Drainage Works</i>. <del>The works required by this condition are to be completed prior to the commencement of the approved use.</del></p>	<p>Prior to the commencement of use.</p>
21.	<p><b>ELECTRICITY</b></p> <p><del>Provision of electricity supply from the State electricity grid through the State authorised supplier (Energex) to service the proposed development or production of evidence of satisfactory arrangements for such supply having been made, such supply to be on normal supply tariffs. The works required by this condition are to be completed prior to the commencement of the use.</del></p> <p>The development must be connected to electricity supply from the State electricity grid through the State authorised supplier to the buildings / structures associated with the approved use or production of evidence of satisfactory arrangements for such supply having been made.</p>	<p>Prior to the commencement of use.</p>
22.	<p><b>FINAL PLAN OF SURVEY</b></p> <p>The Developer shall submit a final plan of survey showing any easements established as a result of this approval.</p>	<p>Prior to the commencement of use.</p>

No.	Condition	Timing
23.	<p><b>EASEMENT ARRANGEMENTS</b></p> <p>Access and services easements to be provided in accordance with the approved plan including access easements on Lot 3 RP 58176, Lot 1 RP58176 and Lot 2 RP 58176 to be registered in favour of Lot 4 RP 44913 on the final plan of survey for the reconfiguration. The easements required by this condition are to be completed and registered on the final plan of survey prior to the commencement of the approved use. All the necessary documentation for the establishment/extinguishment of any easement as a result of this approval is to be provided at the time of requesting the endorsement of the final plan of survey and will be at the applicant's expense.</p>	<p>Prior to the commencement of use.</p>
24.	<p><b>PAYMENT RATES AND CHARGES</b></p> <p>Payment of all rates, charges or expenses which are in arrears or remain a charge over the land under the provisions of the <i>Local Government Act 2009</i>, the <i>Planning Act 2016</i> (in particular Section 815) or any other relevant Act.</p>	<p>Prior to the commencement of use.</p>
25.	<p><b>STAGING OF DEVELOPMENT</b></p> <p>Where staging of the development is proposed, the applicant is to ensure that all other conditions of approval are satisfied within the first stage prior to commencement of use.</p>	<p>Prior to the commencement of use.</p>
26.	<p><b>EARTHWORKS OPERATIONS (CAR PARKING AREAS, ACCESS DRIVEWAYS AND ALLOTMENT FILLING)</b></p> <p><del>All earthworks associated with the car parking areas, access driveway(s) and the building works will be undertaken in accordance with Section 3.4 of Council's Design and Construction Manual. The completed works will be certified by a Registered Professional Engineer of Queensland (RPEQ) as having been constructed in accordance with good engineering practice to a standard reasonable for commercial purposes.</del></p> <p>All earthworks and allotment filling is to be undertaken in accordance with Council's <i>Earthworks, Construction and Water Quality Code of the Scenic Rim Regional Councils Planning Scheme 2020</i>.</p> <p>Any filling is to be undertaken in accordance with Level 1 Inspection &amp; Testing - AS3798 "Guidelines for Earthworks on commercial and residential developments".</p> <p>The completed works must be certified by a Registered Professional Engineer of Queensland (RPEQ) as having been constructed in accordance with the recommendations of the Geotechnical Investigation and Landslide Risk Assessment (Job No.24-424, Ref. 6937) prepared by Qualtest Geotechnical and Laboratory, dated 10/10/2024 and good engineering practice to a standard reasonable for commercial purposes.</p>	<p>Prior to the commencement of use.</p>

No.	Condition	Timing
27.	<p><del><b>EARTHWORKS – SLOPE STABILITY–</b></del></p> <p><del>The development involving filling or excavation does not result in an increased instability of the subject lands. The applicant to ensure that the earthworks are designed and constructed to comply with the relevant Australian Standards: AS4678:2002– Earth Retaining Structures; and AS3798:2007 – Guidelines on Earthworks for Commercial and Residential Developments. The completed works will be certified by a Registered Professional Engineer of Queensland (RPEQ) as having been constructed in accordance with good engineering practice to a standard reasonable for commercial purposes.</del></p>	
28.	<p><b>RETAINING WALLS</b></p> <p>The design and construction of any retaining wall greater than <u>1.0 metre</u> in height is to be structurally certified by a Registered Professional Engineer Queensland. Any retaining wall higher than 1.0 metre will require approval under a Building Application.</p>	<p>Prior to the commencement of use.</p>
29.	<p><b>BUILDING LIGHTING, CAR-PARK LIGHTING &amp; SECURITY GENERAL</b></p> <p>The development must provide adequate lighting to the building, open area car-parking facilities and <u>all</u> pedestrian links to the requirements of the relevant Australian Standards within AS1158 – Lighting for Roads and Public Spaces and AS4282 – Control of the Obtrusive Effects of Outdoor Lighting. The lighting to the aforementioned areas will be maintained in good condition for the lifetime of the proposed use.</p>	<p>Prior to the commencement of use.</p>
30.	<p><b>ODOUR</b></p> <p>Incorporate the recommendations in section 8 of the approved odour assessment report (Job:23-128, Version R1-1) prepared by Astute Environmental Consulting, dated 2/12/2024 into the operations of the approved Intensive animal industry.</p>	<p>Prior to the use commencing and ongoing.</p>
31.	<p><b>NOISE</b></p> <p>Ensure that the development achieves the Acoustic Quality Objectives for Sensitive Receptors listed within the <i>Environmental Protection (Noise) Policy 2019</i>.</p>	<p>Prior to the use commencing and ongoing.</p>
32.	<p><b>BUILDING DESIGN</b></p> <p>Ensure the poultry sheds have external finishes that are muted natural colours so as to visually blend with the rural surroundings.</p>	<p>Prior to the use commencing and ongoing.</p>

3. Referral Agency Conditions

Referral Agency	Referral Response	Contact Details
Department of State Development, Infrastructure and Planning	2501-44249 SRA, dated 19 March 2024	SARA South East Queensland (west) PO Box 129 IPSWICH QLD 4305 Email: ipswichSARA@dsmip.qld.gov.au Tel: 07 3423 2413

4. Advisory Notes

- a) **ADVERTISING SIGNS** – Advertising signs may require an approval in accordance with Council’s Local Laws. Further information and the relevant application forms can be obtained by contacting Council’s Health & Environment area on 07 5540 5444.
- b) **VEGETATION MANAGEMENT ACT 1999 AND THE CULTURAL HERITAGE ACT** - This approval in no way restricts or inhibits the provisions of neither the *Vegetation Management Act 1999* nor the *Aboriginal Cultural Heritage Act 2003*. The Applicant(s) will need to satisfy himself/herself/themselves that in undertaking the proposed development works that his/her/their actions will not contravene the provisions of the aforementioned Acts.
- c) **DEVELOPMENT APPROVAL CONDITIONS ATTACH TO LAND** - Development Approvals which include conditions and any modifications attach to the land and are binding on the owner, the owner’s successors in title and any occupier of the land pursuant to Section 73 of the *Planning Act 2016*.
- d) **WHEN DEVELOPMENT APPROVAL TAKES EFFECT** - Pursuant to the *Planning Act 2016*, this Development Approval takes effect:
  - (i) From the date the Decision Notice/Negotiated Decision Notice (as the case may be) is given to the Applicant, if there are no Submitters and the Applicant does not appeal the decision to the Court; or
  - (ii) From the end of the Submitter's appeal period if there is a Submitter and the Applicant does not appeal the decision to the Court; or
  - (iii) Subject to the decision of the Court when the appeal is finally decided if an appeal is made to the Court by any party; as the case may be. Development may start when a Development Permit takes effect (subject to any conditions specifying commencement).
- e) **APPROVAL LAPSES AT COMPLETION OF CURRENCY PERIOD** - This Development Approval will lapse if the Material Change of Use does not happen before the end of the currency period. The currency period is six (6) years from the date the approval takes effect. The currency period may be extended at the discretion of Council under Section 85 of the *Planning Act 2016*. Before the Development Approval lapses, a written request to extend the currency period may be made to Council under Section 86 of the *Planning Act 2016*. Please note that Council will not automatically remind Applicants/Occupiers when the currency period is about to lapse.
- f) **ADVICE - FIRE ANTS** - The developer and all related construction companies and subcontractors engaged by developers, must fulfill their biosecurity obligation to take all reasonable and practical measures to prevent the spread of fire ants. Refer to the General biosecurity obligation | National Fire Ant Eradication Program (<https://www.fireants.org.au/stop/gbo>). The *Biosecurity Regulation 2016* includes specific requirements for producing, storing and moving materials that can carry fire ants, known as fire ant carriers, from within the Queensland Fire Ant Biosecurity Zones. Refer to the Soil Movement Guideline on the Queensland Government website. It is a legal obligation to report any sighting or suspicion of fire ants within 24 hours to Biosecurity Queensland on phone number 132 ANT (13 22 68). If you are unsure of your legal obligations or have any questions relating to the movement of fire ant carriers, you can contact the National Fire Ant Eradication Program compliance team on 13 25 23.

- g) **COMPLIANCE WITH CONDITIONS** - The land owner/developer, is required to ensure the development and any associated conditions within the development approval are complied with prior to the commencement of the approved land use or prior to endorsement of survey plans for subdivision approvals. Failure to comply with the conditions of approval are deemed to be a breach of Section 164 the *Planning Act 2016* and as such Council may undertake formal enforcement action/s such as statute notices or prescribed infringement notices.

5. Further approvals are required for:

- An Operational Works Approval is required to be lodged with Council for Landscaping works associated with the proposed development prior to the use commencing on the subject site.
- A Building Works Approval for a Class 7 is required for all building works associated with the proposed development prior to undertaking building works on the subject site.
- A Plumbing and Drainage Approval is required for all/any plumbing and drainage works associated with the proposed development, prior to undertaking any plumbing and drainage works on the subject property.
- A change/amendment to Existing EA Permit Number: S73F/EPA/0069 reference 2014-22 (Environmentally Relevant Activity – ERA 4 (2) Poultry Farming in Excess of 200,000 Birds) is required to be approved prior to the use commencing.

6. Administrative Action:

That Decision Notices be issued in accordance with s63 of the *Planning Act 2016* to the Applicant, submitter/s and referral agencies.

<b>Applicable Planning Scheme</b>	Scenic Rim Planning Scheme 2020 (as amended 30 June 2023)
<b>Applicant</b>	Singh Properties Pty Ltd C/- ACS Engineers (Aust) Pty Ltd
<b>Owner(s)</b>	Singh Properties Pty Ltd
<b>Site Address</b>	Unnamed Road, Tamrookum
<b>Real Property Description</b>	Lot 4 RP44913, Lot 4 RP50685, Lot 1 RP58176, Lot 3 RP58176, Lot 2 SP263574
<b>Site Area</b>	1,960,036m <sup>2</sup>
<b>Relevant Zone and Precinct</b>	Rural Zone
<b>Proposal</b>	Intensive animal industry
<b>Assessment Level</b>	Impact
<b>Approval Type</b>	Material Change Of Use
<b>Public Notification</b>	7/03/2025 - 28/03/2025
<b>Submissions Received</b>	Nil
<b>Date Application Deemed Accepted</b>	19 December 2024

Development History

COMBd14/001 - On 6 August 2014, Council issued a Development Approval for a combined Material Change of use and Reconfiguring a Lot to establish a Poultry farm (Rural use) (eight sheds with a maximum of 440,000 birds) and Reconfiguring a lot (access easement).

MCU19/093 - On 29 October 2019, Council issued a Change to Development Approval (COMBd14/001). The change approved the construction of two additional sheds measuring 168 metres long and 16.4 metres wide. Up to 50,080 birds could be placed in each of the two new sheds. The number of birds on-site would not exceed 440,000 as a result of this change.

MCU24/157 - On 3 February 2025, Council approved a minor change to Development Approval (COMBd14/001). The request to change the current approval resulted from a request to make payment for the levied infrastructure charge for MCU19/093. The current property owners advised that the size of the shed constructed are smaller in size than what was approved. The two sheds that were constructed, have been sited in the same location as approved under MCU19/093. However, the size has been reduced so that the gross floor area of the two sheds is now 4,855 square metres (rather than 5,510m<sup>2</sup>), with each shed measuring 140 metres by 17.34 metres. A revised Infrastructure Charges Notice was issued on 5 February 2025.

### Proposal

The applicant seeks to change the underlying approvals to further extend the existing poultry farm to include six additional sheds. Each shed will house approximately 50,000 birds, with a maximum of 740,000 birds within 16 sheds on the entire farm. The new sheds will be surrounded by hardstand area and access tracks. The size of the overall pad for the new sheds is approximately 230 metres by 204 metres. The sheds are proposed to be positioned in a generally east/west direction, with the sheds exhausting to the east. A gravel ring road will be provided around the perimeter of the sheds with a wider hardstand area to facilitate loading/unloading of trucks, grain silos and other supporting infrastructure. The proposed sheds will have dimensions of 18.2 metres by 164 metres separated by approximately 20 metres. The proposed gross floor area of each shed is approximately 2,985 square metres, totalling a combined shed area of 17,910 square metres. The additional poultry sheds will be constructed approximately 400 metres north of the existing sheds.

The following site improvements will be undertaken to facilitate the proposed development.

- Earthworks for the new shed location consisting of approximately 86,426 cubic metres of cut and fill.
- An internal access ring road for service and production vehicles.
- New 555 metre by 4.0 metre unsealed access road incorporating waterway barrier compliant crossings.
- Drainage and stormwater management, incorporating landscape buffer, vegetated filter strips and detention basin.
- 3 x 250,000 Litre water storage tanks.
- 3 x 7,000 Litre LPG storage tanks.
- 3 x 3 Feed Storage Silos arrangements.
- Erosion and sediment control measures to be implemented during construction works.
- Electricity supply extended from the existing development.
- Water supply extended from the existing development for supply from the Logan River, plus two new bores adjacent the new sheds.
- Workshop shed with toilet and shower.
- Standalone on-site domestic wastewater treatment system.

It is noted that a three bedroom managers residence was originally proposed but has been subsequently removed from the application.

The increase to the number of birds associated with the poultry farm will also require a change to the existing Environmentally Relevant Activity – ERA 4 (2) Poultry Farming in Excess of 200,000 Birds (Existing EA Permit Number: S73F/EPA/0069 reference 2014-22).



Figure 1: Proposed overall site plan

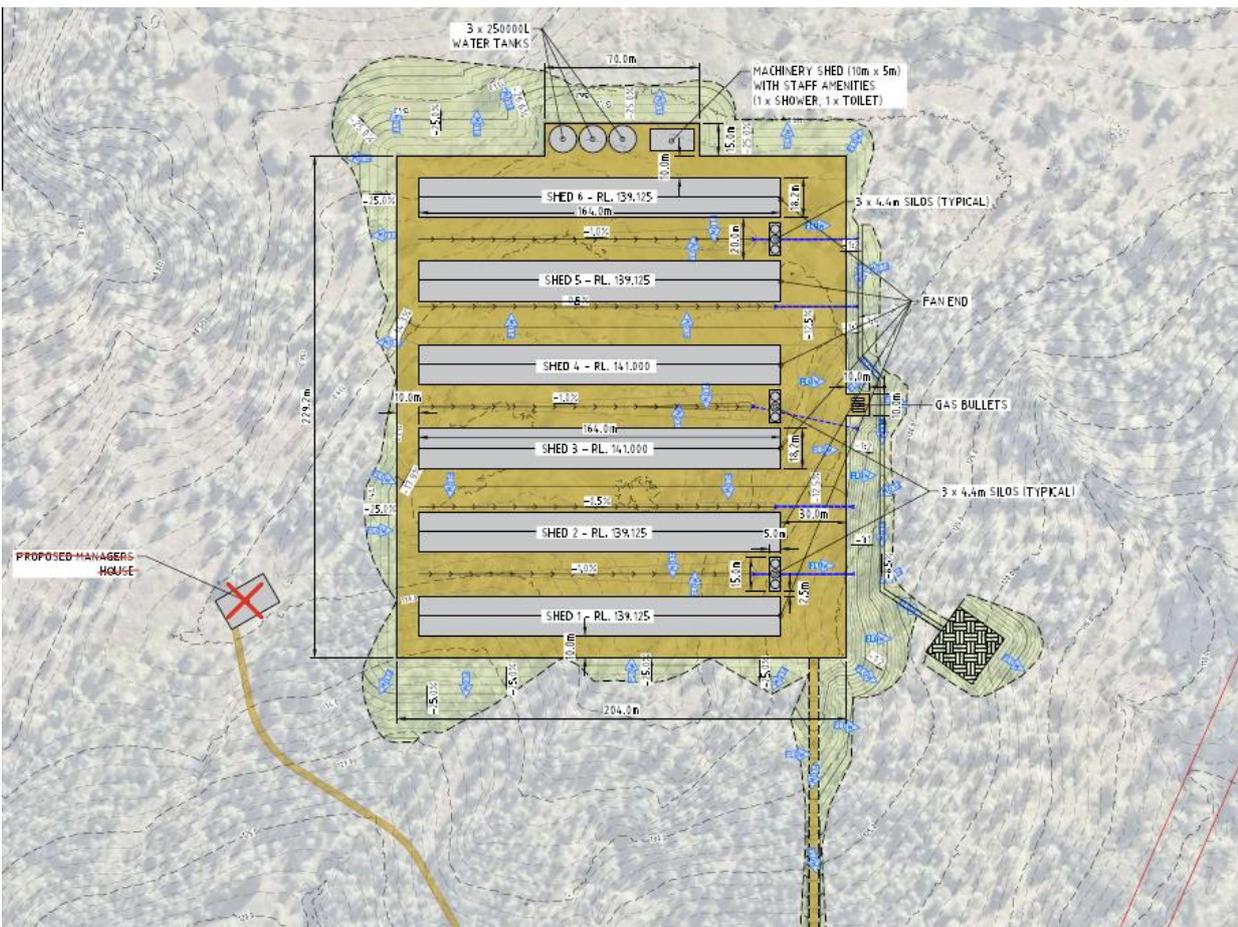


Figure 2: Proposed Layout plan for Sheds (Close up)

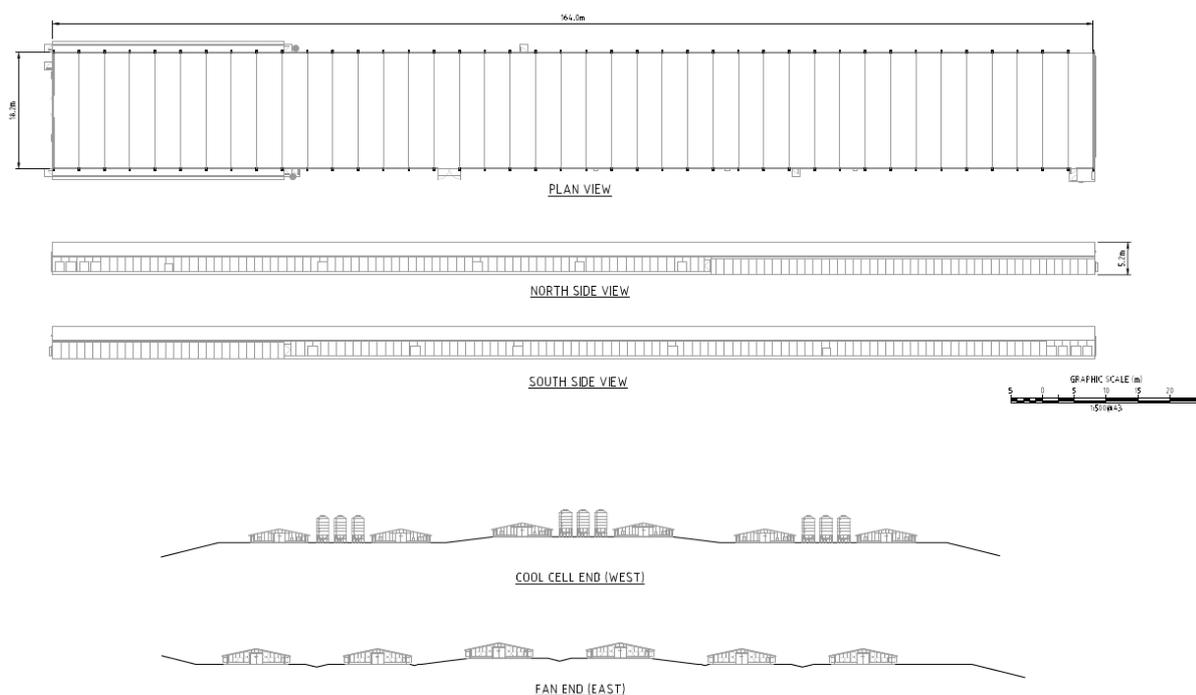


Figure 3: Proposed shed elevations

**Access** - All farm access shall be via the existing access road from the Mt Lindesay Highway (via access easement over Lot 3 RP48275 or 9508 Mt Lindesay Highway), and over the interstate rail line via the existing level crossing at CH905.43km. The new access road (internal to the site) shall be designed and constructed to a standard suitable for the largest vehicle accessing the site.

**Traffic** - A Traffic Impact Assessment (Revision 3, dated 30/10/2024) prepared by TTM Consulting Pty Ltd was submitted to support the proposal. The report notes that the proposed expansion would generate up to 10 vehicles per day (vpd) during normal operations increasing to 15 vpd during peak farm operations at the start and end of batch periods which occur six times a year. The distribution of all generated traffic is expected to be to/from the north along Mount Lindesay Highway.

It is noted that the above traffic generation (vehicles per day) are additional to traffic generated by the existing poultry farm which currently generates up to 10 vehicles per day, increasing to 15 vehicles per day (vpd) during peak farm operations. The farms will operate in tandem but with the poultry batch periods staged at different times throughout the year to minimise short term increases to traffic impacts.

**Staffing** - It is expected that the proposed chicken farm will require additional resources and increase the total staff count to four full time and one part time role.

**Landscaping** - Vegetation and Landscape buffers will be established around the shed perimeter to enhance the dispersion of air emitted from the sheds and to assist in filtering airborne particles and create a visual buffer.



Figure 4: Proposed vegetative/landscape buffers (green)

**Stormwater management** - Stormwater generated by the development will be managed by grass swales and a detention basin prior to discharge to the existing flow paths traversing the site. Each shed will be some 200 to 300mm above the surrounding land to prevent ingress of stormwater. A Stormwater Management Plan, prepared by ACS Engineers, dated 25 February 2025, report number 230099 and revision 2 was submitted in support of the application.

**Wastewater management** - The proposed development will generate wastewater from the proposed amenities facility. A new on-site wastewater treatment plant will be provided to treat wastewater generated from the toilet and shower provided as amenities. The size of the HSTP required will not trigger the requirement for an ERA 63 Sewerage Treatment or ERA 64 Water Treatment.

**Water supply** - Two additional bores are proposed for installation adjacent the new shed to further improve water reliability. Initially the water required for the development and operation will be sourced from water infrastructure installed on the property servicing the existing 10 sheds. An internal water supply network will be installed to the proposed shed site and around the sheds to provide drinking water, cooling water, wash down water and other ancillary needs including water for firefighting. Three water storage tanks will be erected at the farm for on-site water storage. Each tank will have a capacity of 250,000 Litre.

*Odour emissions* - An odour assessment prepared by Astute Environmental Consulting (job:23-128) dated 2 December 2024 was submitted in support of the application. This report has assessed potential odour impacts associated with the proposed expansion to the poultry farm (Intensive Animal Industry). Local land use, terrain and meteorology have been considered in the assessment and dispersion modelling using CALPUFF with the assessment being performed in line with relevant requirements. The results in this report predicted compliance with the odour criterion of C99.5 1hr = 2.5 ou at all receptors for a K factor of 1.9 and therefore the intent of PO7 of the Intensive Animal Industry Code is met.

### Site Visit Evaluation

The subject site is comprised of the following lots within the Rural Zone:

- Lot 4 RP44913 (97.96 ha)
- Lot 2 SP263574 (52.72 ha)
- Lot 4 RP50685 (25.06 ha)
- Lot 1 RP58176 (4.45 ha)
- Lot 3 RP58176 (15.82 ha)
- Easement Parcel ASP267591

Lot 4 RP44913 currently accommodates the existing poultry sheds and will include the additional poultry sheds with a small portion used to provide suitable access. The remainder will be retained as vacant farm land.

Access to the proposed sheds will adjoin the existing access driveway which extends off the Mount Lindesay Highway through Lot 3 RP48275, Lot 3 RP58176, Lot 1 RP58176, Lot 2 SP263574, and Lot 4 RP50685. This access is intersected by the North-South corridor interstate rail track controlled by Australian Rail Track Corporation Ltd (ARTC) between the Eastern boundary of Lot 3 RP58176 and the Western boundary of Lot 3 RP48275.

The topography of the subject site can be described as hilly, with two main rises in the north (location of proposed poultry sheds) and south (location of existing sheds). Low to mid density vegetation covers the site. Three green waterways for waterway barrier works traverse the site. These watercourses eventually drain into the Logan River at a junction roughly 4km North-East of the subject site. Two of these run East on the North and South sides of the existing poultry farm, joining in Lot 2 SP263574 as an amber waterway. The third waterway begins on top of the rise in the Northern section of Lot 4 RP44913, intersecting the proposed pad location. Following both a desktop and site inspection, an anomaly between the mapping and on ground features was identified for this low-risk waterway. A memorandum explaining the findings and formally requesting a mapping amendment was sent to the Department of Agriculture and Fisheries (DAF) by the applicant. DAF confirmed that the green waterway is a mapping anomaly as no bed and banks, fish habitat features or necessary flow or gradients to sustain ecological processes are present until the northern boundary of the lot.

The subject site is located near the Mount Lindesay Highway approximately 7km north of Rathdowney.



Figure 5: Aerial photo of the subject site and surrounds

## Framework for Assessment

### *Categorising Instruments for Statutory Assessment*

For the *Planning Act 2016*, the following Categorising Instruments may contain Assessment Benchmarks applicable to development applications:

- the *Planning Regulation 2017*
- the Planning Scheme for the local government area
- any Temporary Local Planning Instrument
- any Variation Approval

Of these, the planning instruments relevant to this application are discussed in this report.

Assessment Benchmarks Pertaining to the *Planning Regulation 2017*

The following Assessment Benchmarks from the *Planning Regulation 2017* are applicable to this application:

<b>PLANNING REGULATION 2017 DETAILS</b>	
Assessment Benchmarks:	State Planning Policy 2017  ShapingSEQ South East Queensland Regional Plan 2023  Local Government Infrastructure Plan
ShapingSEQ South East Queensland Regional Plan 2023 Designation:	Regional Landscape and Rural Production Area

State Planning Policy

The Scenic Rim Planning Scheme 2020 appropriately integrates the State interests of the *State Planning Policy 2017* that are relevant to this subject site. Therefore, further assessment of the proposal against the *State Planning Policy 2017* is not required.

ShapingSEQ South East Queensland Regional Plan 2023

The subject site is located within the Regional Landscape and Rural Production Area (RLRPA) in accordance with the ShapingSEQ South East Queensland Regional Plan 2023. The intent of the RLRPA is to:

- Protect the values of this land from encroachment by urban and rural residential development;
- Protect natural and cultural and natural assets and regional landscapes and ensure their sustainable use and management;
- Support development and economic growth of rural communities and industries;
- The RLRPA is to be protected from inappropriate development particularly urban and rural residential development.

The proposed development which will expand the existing Intensive animal industry (Poultry Farm) use supports the growth of rural development and thus protects the rural values of the land. It is considered the proposal aligns with the intent for land located within the Regional Landscape and Rural Production Area under the ShapingSEQ South East Queensland Regional Plan 2023.

Local Government Infrastructure Plan

The subject site is included in the Beaudesert (Projection Area). There is no trunk infrastructure planned for the subject site.

Assessment Benchmarks Pertaining to the Planning Scheme

The applicable planning scheme for the application is Scenic Rim Planning Scheme 2020 (as amended 30 June 2023). The following sections relate to the provisions of the Planning Scheme.

Planning Scheme:	Scenic Rim Planning Scheme 2020 (as amended 30 June 2023)
Zone:	Rural Zone
Consistent/Inconsistent Use:	Potentially Consistent
Assessment Benchmarks:	<p>The whole planning scheme with emphasis on the following codes:</p> <ul style="list-style-type: none"> <li>• Strategic Framework</li> <li>• Rural Zone Code</li> <li>• Earthworks, Construction and Water Quality Code</li> <li>• General Development Provisions Code</li> <li>• Intensive Animal Industry Code</li> <li>• Landscaping Code</li> <li>• Parking and Access Code</li> <li>• Landslide Hazard and Steep Slope Overlay Code</li> <li>• Water Resource Catchments Overlay Code</li> </ul>

*Strategic Framework*

The Strategic Framework considers the following matters:

- Settlement Pattern
- Economic Development
- Transport
- Infrastructure and Services
- Natural Environment
- Community Identity, Character and Social Inclusion
- Natural Resources
- Natural Hazards

The application has been assessed against each of the matters above and found to be generally consistent with each matter.

*Planning Scheme Codes*

The application has been assessed against each of the applicable codes and found to be compliant with, or can be conditioned to comply with, each. The pertinent issues arising out of assessment against the codes are discussed below:

Compliance with the Relevant Use Code

The proposal complies with all of the relevant Acceptable Solutions and Performance Criteria, except as follows:

<b>Rural Zone Code</b>		
<b>Performance outcomes</b>	<b>Acceptable outcome</b>	<b>Assessment</b>
<p><b>PO2 (Table 6.2.17.3.1)</b> Development is of a height that:</p> <ul style="list-style-type: none"> <li>(1) is low-rise where involving non-rural activities;</li> <li>(2) does not detract from the amenity of adjoining premises; and</li> <li>(3) complements the rural and natural landscape setting of the zone</li> </ul>	<p><b>AO2.2</b> For development involving rural activities, no Acceptable Outcome is prescribed.</p>	<p>The proposed sheds will be low rise being 5.2 metres in height. The height will not exceed the 8.5 metres maximum height allowable for non-rural activities in the Rural Zone.</p> <p>To satisfy PO2 (Table 6.2.17.3.1) of the Rural Zone Code and PO9 of the Intensive Animal Industry Code,</p> <p><b>PO9</b> <i>Buildings and structures associated with the Intensive animal industry are sited and designed to avoid adverse impacts on the scenic amenity and landscape character of the surrounding area.</i></p> <p>A condition will be included to ensure that the external finishes of the proposed sheds are muted natural colours so as to visually blend with the rural surroundings.</p> <p>Overall, it is considered that the proposal satisfies performance outcome PO2 (Table 6.2.17.3.1) of the Rural Zone Code.</p>
<p><b>PO2 (Table 6.2.17.3.2)</b> Large buildings or structures associated with Rural industry, Intensive animal industries or Intensive horticulture are sited or provided with screen landscaping to minimise their bulk and visibility from roads, public places or sensitive land uses.</p>	<p><b>AO2</b> No Acceptable Outcome is prescribed.</p>	<p>The applicant has provided plans showing that landscape and vegetative buffers are proposed around the perimeter of the proposed sheds. The buffers will be 10 to 30 metres wide and planted with a mix of trees, shrubs and groundcover which will minimise the bulk and visibility of the sheds from roads, public places or sensitive land uses. Conditions have been included for the provision of the landscape/vegetated buffers. Overall, it is considered that the proposal satisfies performance outcome PO2 (Table 6.2.17.3.2) of the Rural Zone code.</p>

Landslide Hazard and Steep Slope Overlay Code		
Performance outcomes	Acceptable outcome	Assessment
<p><b>PO1</b></p> <p>Development siting and access:</p> <ol style="list-style-type: none"> <li>1. ensures the safety of people on sites containing unstable or steep slopes is maintained; and</li> <li>2. mitigates the potential damage to property to an acceptable or tolerable level.</li> </ol>	<p><b>A01</b></p> <p>Development involving building, earthworks, vegetation clearing or an increase in the number of people living and working on a site, is undertaken on land identified as a Steep Slope Area - Slope Hazard 15.1 - 20% or Steep Slope Area - Slope Hazard 20.1 - 25%, and Landslide Hazard - Medium, only where a geotechnical stability assessment report, prepared and certified by a Registered Professional Engineer in Queensland (RPEQ), confirms that the proposed development:</p> <ol style="list-style-type: none"> <li>1. is designed, located and managed to ensure the safety of people is maintained;</li> <li>2. is located so that it is geologically stable in the long term and not at risk from landslide;</li> <li>3. is appropriate for the sloping nature of the site; and</li> <li>4. that the risk of landslide adversely affecting the subject lot, adjoining properties and the proposed development is at a low level.</li> </ol> <p><i>Note - Certification is to consider all relevant matters including but not limited to safety of persons using the site, adjacent land stability impacts, rockfall, development siting and layout, vegetation and vegetation removal, waste disposal areas, stormwater management, earthworks, driveways, car parking and manoeuvring areas.</i></p>	<p>A Geotechnical report prepared by Qualtest Geotechnical and Laboratory has been submitted in support of the application. It identifies that the proposed sheds will be located on land that is predominantly within the Steep slope hazard 15.1% - 20% area. The investigation involved desktop analysis, site inspections and lab testing. The investigation identified the subject site as having a "Very Low" landslide risk site per current site conditions. A series of recommendations have been included in the report to ensure a low landslide risk level following the completion of the proposed development is maintained. The recommendations relate to earthworks, erosion control, retaining walls, stormwater drainage and disposal, building footings. To ensure the proposal continues to satisfy PO1 and PO5 of the Landslide Hazard and Steep Slope Overlay Code and maintain the 'Very Low' landslide risk after construction, conditions will be included to ensure the developer implements the recommendations of the geotechnical investigation during site works, construction works and ongoing.</p>

<p><b>PO5</b></p> <p>Development in Steep Slope Areas and Landslide Hazard Areas incorporates measures to minimise landslide risk level for the development site and for areas immediately surrounding the development site without significantly altering the characteristics of the land.</p>	<p><b>AO5.1</b></p> <p>Development located in a Steep Slope Area is located on the least steep part of the subject site.</p> <p><b>AO5.2</b></p> <p>Existing vegetation is retained on land with a slope of 15% or greater.</p> <p><b>AO5.3</b></p> <p>Development creates minimal disturbance to the natural ground levels.</p>	
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<b>Water Resource Catchments Overlay Code</b>		
<b>Performance outcomes</b>	<b>Acceptable outcome</b>	<b>Assessment</b>
<p><b>PO1</b></p> <p>Development requiring sewage-treatment facilities and disposal areas protects water quality entering waterways and Urban Water Supply Storage areas by maintaining an adequate separation distance from waterways.</p> <p><i>Editor's note: refer to Water Resource Catchments Overlay Map - Streams and Dams OM-10-B for the location of waterways and Urban Water Supply Storage areas and refer to Flood Hazard Overlay Map - Hazard Area OM-06-A for an indication of areas with potential flood inundation.</i></p>	<p><b>AO1.1</b></p> <p>Development does not generate wastewater.</p> <p><b>OR</b></p> <p><b>AO1.2</b></p> <p>Development is connected to reticulated sewer and does not involve an on-site sewerage treatment facility.</p> <p><b>OR</b></p> <p><b>AO1.3</b></p> <p>Development involves (or will involve in the case of reconfiguring a lot) a sewage-treatment facility and disposal area that complies with the following:</p> <ol style="list-style-type: none"> <li>1. where involving a <i>Low density residential activity</i> or a <i>tourist accommodation site</i>, separation distances and locational criteria are in accordance with Table 8.2.10.3.3 - Minimum Horizontal Separation Distances and Locational Criteria for Residential and Tourist Accommodation; and</li> <li>2. for all other development, separation distances and locational criteria are in accordance with Table 8.2.10.3.4 — Separation Distance and Other Locational Criteria.</li> </ol>	<p>The sewage from the development will be treated on-site. The proposed development will be located at least 200 metres away from the nearest Stream Order 1 to 3. A green waterway for waterway barrier works intersects the proposed pad location however it has been confirmed to be a mapping anomaly by the Department of Agriculture and Fisheries (DAF), as no characteristics or features necessary to sustain ecological processes are present until further downstream (north) at the lot boundary. As such the proposal would comply with acceptable outcome AO1.3(2) which seeks to ensure that development with a sewage-treatment facility and disposal area complies with Table 8.2.10.3.4 — Separation</p>

	<p><b>Note</b> - Where another setback distance or locational criteria is identified within this code, the higher standard applies.</p> <p><b>Editor's Note:</b> Development involving reconfiguring a lot must demonstrate that the above requirements can be achieved.</p>	<p>Distance and Other Locational Criteria. In this case, the separation from a Stream Order 1 to 3 is 50 metres for Intensive animal industry uses. Compliance with the deemed to comply provision (AO1.3(2)) does not warrant further assessment against corresponding performance outcome.</p>
<p><b>PO3 (Table 8.2.10.3.2)</b></p> <p>Solid wastes generated by the development are managed, stored and disposed of in a manner that does not adversely impact on the quality of any surface water or groundwater.</p>	<p><b>PO3.1</b></p> <p>Development being an <i>Intensive animal industry</i> ensures:</p> <ol style="list-style-type: none"> <li>1. the stockpiling of waste litter, manure and other organics is undertaken as follows:             <ol style="list-style-type: none"> <li>a. on surfaces constructed with permanent impervious underlay to minimise leaching (groundsheets will only be accepted where stockpiling is temporary);</li> <li>b. located outside of an effluent irrigation area;</li> <li>c. located 3m above the seasonal high-water table and away from recharge areas;</li> <li>d. sized to accommodate the proposed disposal timeframes;</li> <li>e. designed with run-off diversion drainage upstream to prevent uncontaminated stormwater movement into the area;</li> <li>f. bunded to capture contaminated run-off for appropriate treatment and disposal; and</li> <li>g. covered, desirably within a shed but otherwise with weatherproof material;</li> </ol> </li> <li>2. the reuse of waste litter, manure and other organics as soil conditioners or fertilizers is not undertaken on-site;</li> <li>3. composting activities are not undertaken on-site; and</li> <li>4. carcasses are not buried on-site except as required in accordance with any emergency animal disease directive by a biosecurity agency.</li> </ol>	<p>The applicant has advised that the refuse from the development will be stored on-site adjacent to the poultry sheds and serviced by private contractors, well away from any sensitive land uses. Dead birds will be (and currently are) collected daily from the sheds (existing and new) and composted in the existing designated composting bays. Composting is undertaken in a standalone covered shed on an impermeable base. It is considered that the current/proposed practices of the existing poultry farm ensures that solid wastes are appropriately managed, stored and disposed of on-site. It is noted that the original approval included the requirement that all composting was to be undertaken with materials stored on-site. The proposed development will continue to comply with the existing condition.</p>

It is noted that the subject site is also mapped in the Bushfire Hazard Overlay Code and Environmental Significance Overlay Code. However, no further assessment is warranted as the siting of the building footprint of the proposed sheds is outside these mapped areas.

<b>Intensive Animal Industry Code</b>		
<b>Performance outcomes</b>	<b>Acceptable outcome</b>	<b>Assessment</b>
<p><b>PO1</b></p> <p>The Intensive animal industry is located on a site which has sufficient area to: (1) accommodate the use (including all buildings, structures and waste disposal areas involved in the use); and (2) provide adequate setbacks to road frontages and side and rear boundaries, waterways and wetlands and, if a poultry farm, other poultry farms; so as not to have an adverse impact on the amenity of a sensitive land use or a place known or likely to become a sensitive land use in the future.</p>	<p><b>AO1.3</b></p> <p>Development involving a poultry farm with 1000 birds or more: (1) is located on a site having a minimum area of 100ha; and (2) can site the poultry farm complex to comply with the minimum setbacks provided in Table 9.3.9.3.5 - Poultry Farming Setback Distances.</p>	<p>The existing and proposed poultry farm is to be located on a development site that is 1,960,036 square metres or 196 hectares in size. The proposed development can comply with the minimum setbacks as detailed in Table 9.3.9.3.5 - Poultry Farming Setback Distances. Most relevant the proposed development will be located at least 200 metres away from the existing stream that runs centrally through the site which exceeds the minimum separation distance of 100 metres required. It is considered that the proposed development is appropriately separated from waterways and wetlands in the vicinity of the site. The nearest poultry farm on adjoining lots is 1.6 kilometres from the proposed poultry sheds which will also exceed the minimum separation of one (1) kilometre as set out in Table 9.3.9.3.5.</p>
<p><b>PO2</b></p> <p>Appropriate separation distances are maintained between Intensive animal industries and waterways and wetlands to ensure water quality is maintained and protected.</p>	<p><b>AO2.2</b></p> <p>Development involving a poultry farm with 1000 birds or more is located on a site which complies with the minimum setbacks to waterways and wetlands provided in Table 9.3.9.3.5 - Poultry Farming Setback Distances.</p>	<p>Overall, it is considered that the proposal meets the deemed to comply provisions AO1.3 and AO2.2 therefore will satisfy performance outcomes PO1 and PO2 of the Intensive Animal Industry Code.</p>
<p><b>PO3</b></p> <p>An Intensive animal industry is located on a site which has access to a reliable water supply.</p>	<p><b>AO3</b></p> <p>Development is provided with a reliable water supply, which has the capacity to store a minimum two week supply for: (1) drinking water for the animals; and (2)</p>	<p>The applicant has provided information noting that the proposed development will rely on water available from existing and new bores and a Logan River water allocation to meet the needs of the poultry farm. The property has a water allocation of 90 ML from the Logan River. The existing bores provide a combined 10L/s supply to the farm. Two additional bores are proposed for installation adjacent the new shed to further improve water reliability. Initially the water required for the development</p>

<b>Intensive Animal Industry Code</b>		
<b>Performance outcomes</b>	<b>Acceptable outcome</b>	<b>Assessment</b>
	water for cleaning and maintenance.	and operation will be sourced from water infrastructure installed on the property servicing the existing 10 sheds. An internal water supply network will be installed to the proposed shed site and around the sheds to provide drinking water, cooling water, wash down water and other ancillary needs including water for firefighting. Three water storage tanks will be erected at the farm for on-site water storage. Each tank will have a capacity of 250,000 Litres. The proposed development will utilise the existing water supply provided in tanks on the site. Overall it is considered that a reliable water supply is readily accessible to the proposed development therefore can satisfy performance outcome PO3 of the Intensive Animal Industry Code.
<p><b>PO4</b></p> <p>An Intensive animal industry obtains access from a road and transport route which: (1) can safely carry the number and types of vehicles generated by the development; and (2) has a pavement design, standard and width that can carry the additional number and types of vehicles generated by the development.</p>	<p><b>AO4</b></p> <p>Development is located on a site which has direct access to a constructed road</p>	<p>The subject site has direct access to the Mt Lindsay Highway via access easement ASP267591. It is considered the proposal complies with Acceptable Outcome AO4 of the Intensive Animal Industry code.</p>
<p><b>PO1 (Table 9.3.9.3.3)</b></p> <p>The Intensive animal industry is located on land which has suitable terrain and is sufficiently elevated to facilitate ventilation and drainage.</p>	<p><b>AO1</b></p> <p>Development is not located:</p> <ul style="list-style-type: none"> <li>(1) on land exceeding 10% slope; or</li> <li>(2) in the defined flood event; or</li> <li>(3) in an overland flow path.</li> </ul>	<p>The development will be constructed over land that is subject to steep slopes up to 20 percent. The applicant has submitted a geotechnical investigation report for the development site noting recommendations to ensure the development results very low landslide risk. The site is not located within land subject to flooding or an overland flow path. It is considered that the subject site is of a suitable terrain to facilitate the proposed development. The applicant will need to ensure all works are undertaken in accordance with the recommendations of the geotechnical report to ensure landslide risk is minimised.</p>

<b>Intensive Animal Industry Code</b>		
<b>Performance outcomes</b>	<b>Acceptable outcome</b>	<b>Assessment</b>
<p><b>PO2 (Table 9.3.9.3.3)</b></p> <p>An Intensive animal industry is appropriately separated from land in a residential zone, Urban Area or Investigation Area (shown on Strategic Framework Map SFM-01: Communities and Character) to avoid any adverse impacts on the amenity and character of these areas.</p>	<p><b>AO2</b></p> <p>An Intensive animal industry involving an Environmentally Relevant Activity, is located a minimum distance of 2,500 metres from land included in a residential zone, Urban Area or Investigation Area (shown on Strategic Framework SFM-01: Communities and Character).</p>	<p>The closest residential zone (rural residential zone) is approximately five (5) kilometres north-west of the subject site which exceeds the 2,500 metre minimum distance required in acceptable outcome AO2. Thus the proposal will satisfy performance outcome PO2 (Table 9.3.9.3.3).</p>
<p><b>PO4 (Table 9.3.9.3.3)</b></p> <p>The Intensive animal industry avoids adverse impacts on the water quality of any receiving waters arising from: (1) the release of sediment, nutrients, chemicals or other pollutants; (2) the alteration of stormwater quality and hydrological processes; and (3) waste water</p>	<p><b>AO4</b></p> <p>No Acceptable Outcome provided.</p>	<p>The applicant has included in their stormwater management plan a series of stormwater quality controls to minimise contamination of water quality resulting from the release of sediment, nutrients, chemicals or other pollutants. Internal controls within the sheds includes compacted earth floors, regular stockpiling and disposal of litter and dead carcasses, wash down of shed and storage of chemicals in bunded storage.</p> <p>In terms of external controls, the shed maintains buffer separations from existing natural drainage lines. Stormwater generated from the development will be directed through grassed table drains beside each shed, discharging to a grassed swale along the eastern side of the pad, discharging to a detention basin for subsequent discharge via level spreaders to the natural flow paths. Grassed swales will function by slowing runoff velocities and filtering out sediment and other pollutants.</p> <p>During construction, sediment and erosion controls will be implemented. A standard condition is included to ensure sediment and erosion controls are installed prior to any works commencing and maintained throughout the duration of works.</p>

<b>Intensive Animal Industry Code</b>		
<b>Performance outcomes</b>	<b>Acceptable outcome</b>	<b>Assessment</b>
<p><b>PO5 (Table 9.3.9.3.3)</b></p> <p>Liquid and solid waste disposal including carcass disposal does not result in environmental harm or environmental nuisance or adversely impact water quality of receiving waters</p>	<p><b>AO5</b></p> <p>No Acceptable Outcome provided</p>	<p>As previously discussed, it is proposed that dead birds will be collected daily from all sheds (existing and new) and composted in the existing designated composting bays. Composting is undertaken in a standalone covered shed on an impermeable base. It is considered that appropriate measures are in place and will be implemented to ensure environmental harm or environmental nuisance or adversely impact water quality of receiving waters is avoided.</p>
<p><b>PO7 (Table 9.3.9.3.3)</b></p> <p>The Intensive animal industry is located, designed and managed so as not to generate odour emissions of a level that has the potential to cause environmental harm or environmental nuisance at a sensitive land use or a place known or likely to become a sensitive land use in the future.</p>	<p><b>AO7.2</b></p> <p>Where adjacent to a site that contains a sensitive land use, an Intensive animal industry is located, designed and managed to ensure that odour concentrations do not exceed 2.5 odour units, 1-hour average, 99.5th percentile: (1) within 200m of the existing adjacent sensitive land use; and (2) over more than 50% of the area of the adjacent site.</p> <p><b>AND</b></p> <p><b>AO7.3</b></p> <p>Where adjacent to a site that does not contain a sensitive land use, an Intensive animal industry is located, designed and managed to ensure that odour concentrations do not exceed 2.5 odour units, 1-hour average,</p>	<p>The applicant has provided an odour report prepared by Astute Environmental (Job 23-128, December 2024) in support of the proposed development. Council issued further advice requesting clarification as to whether sensitive receptors SR1 and SR28 meet the criteria of acceptable outcome AO7.2 in regards to the 200 metre separation distance. In addition to this, Council noted that a few adjoining properties do not contain sensitive receptors and will be exposed to odour concentrations/emissions over more than 50 percent of the area of the adjacent site. Therefore, the proposal could not comply with acceptable outcome AO7.3.</p> <p>The applicant provided a response which identified that Sensitive Receptor (SR1) Dwelling house will comply with AO7.2 as it is more than 360 metres from the Cumulative Odour Contour (2.5 ou, 1hr, 99.5th). Sensitive Receptor (SR28) was also compliant with AO7.2 as it had a separation distance of more than 268 metres from Cumulative Odour Contour (2.5 ou, 1hr, 99.5th). The applicant also provided clarification to all sensitive receptors not identified by Council which confirmed that all sensitive receptors were at a distance greater than 200 metres. Thus the proposal complies with AO7.2 of the Intensive Animal Industry Code.</p> <p>In regards to demonstrating compliance with AO7.3 the applicant has provided the following information regarding</p>

Intensive Animal Industry Code		
Performance outcomes	Acceptable outcome	Assessment
	<p>99.5th percentile! : (1) over more than 50% of the area of the adjacent site; and (2) where involving a site less than 20ha, at a place on the adjacent site known or likely to become a sensitive land use in the future#.</p> <p>AND</p> <p><b>AO7.4</b></p> <p>An Intensive animal industry is located, designed and managed to ensure that odour concentrations do not exceed 1 odour unit, 1-hour average, 99.5th percentile at the boundary of land in a non-rural zone.</p>	<p>adjoining properties and the percentage of the lots impacted by the Odour Contours. It was confirmed that the odour contours would cover more than 50% of area of five adjoining properties.</p> <ul style="list-style-type: none"> <li>• Lot 3 RP50685 - 51%</li> <li>• Lot 3 RP44275 - 58%</li> <li>• Lot 1 RP49216 - 100%</li> <li>• Lot 2 RP49216 - 86%</li> <li>• Lot 134 W311958 - 71%</li> </ul> <p>The applicant has provided justification for the exceedance over 50% noting that all of the land is constrained by bushfire hazard, steep slope overlay, regulated vegetation/core koala habitat and is landlocked (no road frontage). All these constraints would minimise the likelihood of a sensitive use being established on the site. It was also noted that the assessment of odour over Lot 2 RP49216 and Lot 134 W311958 was assessed as part of the original approval and there is little increase to the odour contours. It was also noted that these lots had sufficient areas of unconstrained land and land without odour contours (up to 100,157m<sup>2</sup> for Lot 134 W311958) for the establishment of a sensitive land use, should the owners wish. The applicant's comments are acceptable and the proposed development is considered to satisfy performance outcome PO7 (Table 9.3.9.3.3).</p>
<p><b>PO8 (Table 9.3.9.3.3)</b></p> <p>The Intensive animal industry does not generate emissions (in terms of dust, noise and lighting) of a level that has the potential to cause environmental harm or environmental nuisance at any point beyond the boundary of the site</p>	<p>Refer to Planning Scheme.</p>	<p>Standard conditions can be included to ensure light, noise and dust emissions are minimised. Compliance with the recommended conditions will ensure the proposed Intensive animal industry will not cause environmental harm or environmental nuisance on the surrounding environment.</p>

General Development Provisions Code		
Performance outcomes	Acceptable outcomes	Assessment
<p><b>PO16</b></p> <p>Stormwater quantity management outcomes demonstrate no adverse impact on stormwater flooding or the drainage of properties external to the subject site</p>	<p><b>AO16.1</b></p> <p>A site based stormwater quantity management plan (SQMP) is prepared by a suitably qualified person and demonstrates achievable stormwater quantity control measures for discharge during operational phases of development designed in accordance with the Queensland Urban Drainage Manual (QUDM).</p> <p><b>AO16.2</b></p> <p>Stormwater flows discharged from development are either within the capacity of the downstream drainage system such that non-worsening occurs, or are mitigated to pre-development characteristics.</p>	<p>The applicant submitted a revised stormwater management plan as part of their response to SARA information requests. In order to mitigate the potential increase in stormwater flow rates and volumes, the following management measures are proposed:</p> <ul style="list-style-type: none"> <li>• Runoff from sheds and hardstands to be directed to one 2ML detention basin located at the south-eastern corner of the development area via grassed swales. Runoff captured within the detention basin will be utilised for irrigation of landscaped areas as soon as practicable to maintain a generally empty status.</li> <li>• The detention basin spillways sized to meet pre developed flow rates will discharge downstream to level spreaders to return flows to overland sheet flow, for subsequent discharge to natural drainage lines.</li> </ul> <p>Council engineers have reviewed the stormwater report and are satisfied with the proposal subject to compliance with standard engineering conditions. It is considered compliance with the conditions will ensure that PO16 of the General Development Provisions Code is satisfied.</p>

Earthworks, Construction and Water Quality Code		
Performance outcomes	Acceptable outcome	Assessment
<p><b>PO1</b></p> <p>Earthworks do not result in increased instability of the subject or adjoining lands.</p>	<p>Refer to Planning Scheme.</p>	<p>As previously discussed, the engineers have provided earthwork conditions which also require all earthworks to be undertaken in accordance with the recommendations of the geotechnical investigation report provided with the application. In doing so, the proposal can be made to comply with performance outcome PO1 of the Earthworks, Construction and Water Quality Code.</p>

<p><b>PO7</b> Earthworks are conducted in a manner which reduces their visual impact.</p>	<p><b>AO6</b> No acceptable outcome is prescribed.</p>	<p>The earthworks will facilitate the construction of a level building pad for the sheds. As such there will be no ongoing visual impacts associated with the proposed earthworks.</p>
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<b>Landscaping Code</b>		
<b>Performance outcomes</b>	<b>Acceptable outcome</b>	<b>Assessment</b>
<p><b>PO2</b> Landscaping: 1. predominately uses native species suitable to the location of the development; and 2. avoids the introduction or spread of weed species and pests.</p>	<p><b>AO2</b> Development ensures that: 1. at least 50% of trees are species selected from Planning Scheme Policy 2 - Landscape Design - Part 4 Preferred Landscape Species; and 2. plants listed in the Biosecurity Act 2014 are not used.</p>	<p>The applicant has provided a landscaping plan for the proposed sheds which includes landscape buffers 10 metres in width and a vegetative environmental buffer 30 metres wide around the perimeter of the proposed sheds. The plan notes that the proposed vegetation buffer is to be planted generally in accordance with the Vegetative Environmental Buffers for Australian Poultry Farms: Producers Guide.</p>
<p><b>PO3</b> Development, where no specific landscape requirements are stated in this Code, incorporates landscaping designed to: 1. enhance and soften the visual and built form attributes of a development; 2. complement the existing design and character of landscaping on adjacent sites; 3. integrate the development with its surroundings; and 4. reflect the landscape character of the locality.</p>	<p><b>AO3</b> Development incorporates aesthetic landscaping which meets the standards in Planning Scheme Policy 2 - Landscape Design.</p>	<p>A condition is included to ensure a detailed landscaping plan is submitted to Council at operational works stage for detailed review. The condition includes requirements for the landscaping design to include species selected from Council's Preferred Landscape Species and not to include any plants listed in the <i>Biosecurity Act 2014</i>. It is expected that the density of plantings and a mix of plants will be detailed in the detailed landscape plan.</p> <p>In addition to this, it is noted that the original approval included a requirement for the applicant to submit landscaping plans for the existing 10 sheds. A review of Council records shows that required landscaping plans were not submitted. A desktop review of aerial imagery shows that no vegetative or landscaping buffers are present around the existing 10 sheds. As such the original condition has been retained and updated to ensure that landscaping plans are submitted at operational works stage in accordance with the current planning provisions.</p>
<p><b>PO11</b> Development ensures outdoor storage and waste storage areas are screened from view from the street and public spaces.</p>	<p><b>AO11</b> Outdoor storage and waste storage areas are screened from the street or a public space, by way of either: 1. 2 metre wide screen landscaping designed and constructed in accordance with Planning Scheme Policy 2 - Landscape Design; or</p>	

	<p>2. a solid 1.8 metre high screen fence.</p>	<p>Compliance with the recommended condition will ensure that PO2, PO3 and PO11 of the landscaping code can be satisfied.</p>
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<p><b>Parking and Access Code</b></p>		
<p><b>Performance outcomes</b></p>	<p><b>Acceptable outcome</b></p>	<p><b>Assessment</b></p>
<p><b>PO1</b></p> <p>Development provides for sufficient vehicle and service vehicle parking on site to satisfy the expected demand for the number and type of vehicles likely to be generated by a use having regard to the particular circumstances of the premises including the:</p> <ol style="list-style-type: none"> <li>1. nature, intensity and hours of operation of the use; and</li> <li>2. the existing and expected future traffic conditions in the surrounding area.</li> </ol>	<p><b>AO1</b></p> <p>Development provides the number of vehicle and service vehicle parking spaces on site identified in Table 9.4.5.3.3 - Car and Service Vehicle Parking.</p> <p><i><b>Note - Car parking for people with disabilities must be addressed in accordance with the provisions of the National Construction Code, Volume 1, Part D3.5 Accessible Carparking.</b></i></p>	<p>The proposal is supported by a traffic assessment prepared by TTM. The report notes that the parking rate for intensive animal industry is one (1) space per employee; and one (1) visitor space. Applying these rates, the proposed development having four (4) full-time staff, and one (1) part-time staff would require five (5) parking spaces, plus one (1) parking space for a visitor. Four (4) parking spaces are proposed to cater for the demand generated by the proposed extension to the poultry farm. In this instance, the Acceptable Outcome is not met.</p> <p>To achieve compliance with the relevant Performance Outcome PO1, four parking spaces are proposed for general day to day activity for the proposed farm extension. The four full-time staff, and one part-time staff operate across a 24-hour period, meaning that not all five staff are on-site at any one time. Therefore, the provision of four parking spaces is considered acceptable to accommodate the demand to be generated for general day to day parking.</p> <p>Where there is an uplift in staff required to support the start and finish of the batch periods, a designated parking area is provided to accommodate any further additional vehicles due to the temporary increases in staff during the processing periods. The internal road network will accommodate two-way traffic, including sufficient turning profile for the largest vehicle expected, being B-double trucks. The engineers have reviewed the traffic report and accept that the proposal can satisfy performance outcome PO1 of the Parking and Access Code. Standard conditions are included to ensure the parking and access is constructed to Councils engineering standards.</p>

<p><b>PO2</b></p> <p>Vehicle parking areas are designed to:</p> <ol style="list-style-type: none"> <li>1. provide for safe and efficient vehicle movements throughout the site;</li> <li>2. minimise conflict between vehicles and pedestrians; and</li> <li>3. provide for safe and efficient ingress and egress points.</li> </ol>	<p><b>AO2</b></p> <p>All vehicles are able to enter and exit the site in a forward direction.</p>	<p>No changes are proposed to the existing access from Mt Lindsay Highway. The applicant has provided plans (layout and longitudinal sections) for the proposed internal driveway. The Council engineers have reviewed and support the proposal subject to compliance with standard engineering conditions. Compliance with the conditions will ensure the proposed development satisfies performance outcome PO2 of the Parking and Access Code.</p>
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**Budget / Financial Implications**

Any appeal to the Planning and Environment Court by the applicant will result in financial implications not envisaged or captured as part of the application fee.

**Strategic Implications**

*Operational Plan*

Theme: 4. Relaxed Living and Rural Lifestyle

Key Area of Focus: Advocacy for outcomes that are compatible with the clear and comprehensive vision for the region

*Legal / Statutory Implications*

Legal and statutory implications will be managed in line with Council's Risk Management framework and a separate report submitted if required.

**Risks**

Strategic Risks

The following Level 1 and Level 2 (strategic) risks are relevant to the matters considered in this report:

- SR43 Inadequate or ineffective planning, delivery and maintenance of infrastructure resulting in risk to public and staff safety and potential financial implications.
- SR50 Failure to manage Environmental Sustainability (including climate change) through inappropriate and/or inadequate planning and operational considerations of impacts to the natural environment.
- SR53 Inadequate sustainable economic growth plans in place to appropriately maximise opportunities, resulting in increased pressures on Council and State infrastructure and social environmental cohesiveness.

Risk Summary

Category	Explanation
Governance, Risk & Compliance Failure to ensure applications is assessed in accordance with the DA process	Risk has been appropriately managed through a documented assessment process, in accordance with the requirements of the Planning Act 2016.
Governance, Risk & Compliance Opportunity for applicant or third party appeal against Council decision	Ensure reasonable and relevant test applicable to assessment processes. Council ensure Model Litigant processes followed in court cases.
Reputation, Community & Civic Leadership Negative perception from community or development proponents	Transparency of all common material is available to the public and applicant through Council's DAPOnline. Assessment report details considerations in relation to compliance with the relevant assessment benchmarks.

**Human Rights Implications**

No human rights have been impacted by any actions recommended in this report.

**Consultation**

Referral Agencies

The application was referred to the following Referral Agencies in accordance with the *Planning Act 2016* and the *Planning Regulation 2017*.

*Department of State Development, Infrastructure and Planning (SARA)*

The Department is a referral agency for the following Planning Regulation triggers:

- Schedule 10, Part 5, Division 4, Subdivision 2, Table 1 (Planning Regulation 2017) Material change of use for an environmentally relevant activity.
- Schedule 10, Part 9, Division 4, Subdivision 1, Table 1 (Planning Regulation 2017) Development impacting on State transport infrastructure.
- Schedule 10, Part 9, Division 4, Subdivision 2, Table 4 (Planning Regulation 2017) Material change of use of premises near a state transport corridor.

The Department provided a referral response (2501-44249 SRA) dated 19 March 2025 stating conditions to be included with this development approval.

Internal Referrals

*Health, Building and Environment – Environmental Health*

Councils Environmental Health team have reviewed the Odour Report and subsequent responses to Councils further advice and have no further concerns with the development as proposed.

*Development Assessment (Engineering)*

Councils Engineering team have reviewed the application documents and provided engineering conditions. Comments have been incorporated into the assessment section of this report.

### Public Notification

The applicant submitted on 31 March 2025, a written notice stating that public notice of the proposal has been completed in accordance with the requirements of the *Planning Act 2016*.

The application was publicly notified for 16 days (from 07 March 2025 to 28 March 2025) in accordance with the requirements of the *Planning Act 2016*. There were no properly made submissions or not properly made submissions received.

### **Conclusion**

The proposed development generally complies with the requirements of the planning scheme and does not raise any significant issues that cannot be addressed by reasonable and relevant conditions. The application is therefore recommended for approval.

### **Options**

#### Option 1 - Approval

That:

1. Council receive and note the report titled "MCU24/160 Development Permit for Other Change (Material Change of Use - Intensive Animal Industry) at Unnamed Road, Tamrookum, described as, Lot 4 RP 44913, Lot 4 RP 50685, Lot 1 RP 58176, Lot 3 RP 58176 and Lot 2 SP 263574";
2. Council approve development application MCU24/160, and grant a development permit for Other Change for Material Change of Use for Intensive animal industry, subject to the conditions; and
3. Council note that any subsequent requests for a negotiated decision notice and/or change applications to the approval (MCU24/160), as well as any administrative corrections to the conditions will be processed via delegated authority where the changes would not significantly alter the original decision.

#### Option 2 - Deferred Decision

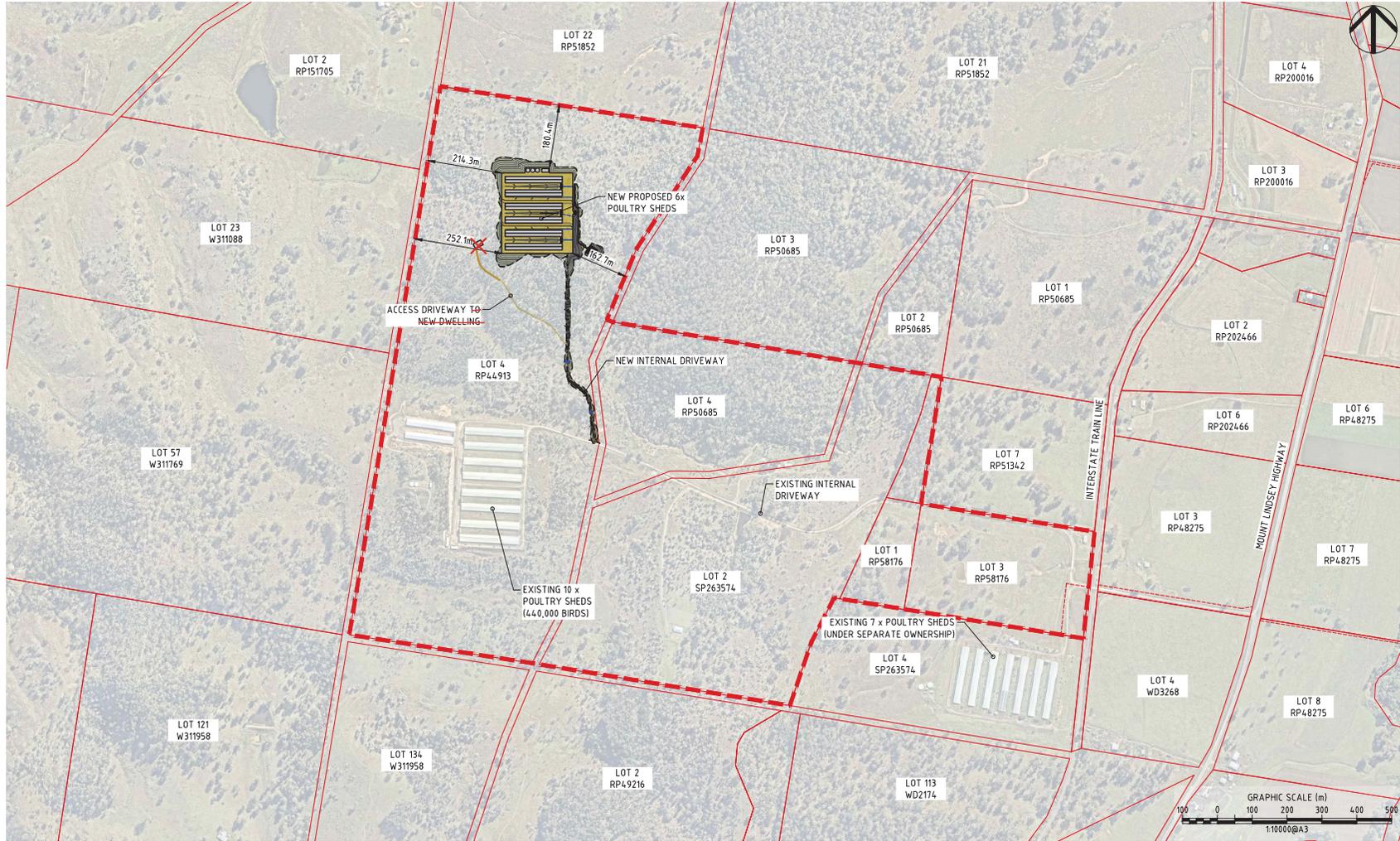
That:

1. Council receive and note the report titled "MCU24/160 Development Permit for Other Change (Material Change of Use - Intensive Animal Industry) at Unnamed Road, Tamrookum, described as, Lot 4 RP 44913, Lot 4 RP 50685, Lot 1 RP 58176, Lot 3 RP 58176 and Lot 2 SP 263574"; and
2. Council defer the decision of development application MCU24/160, for the stated reasons.

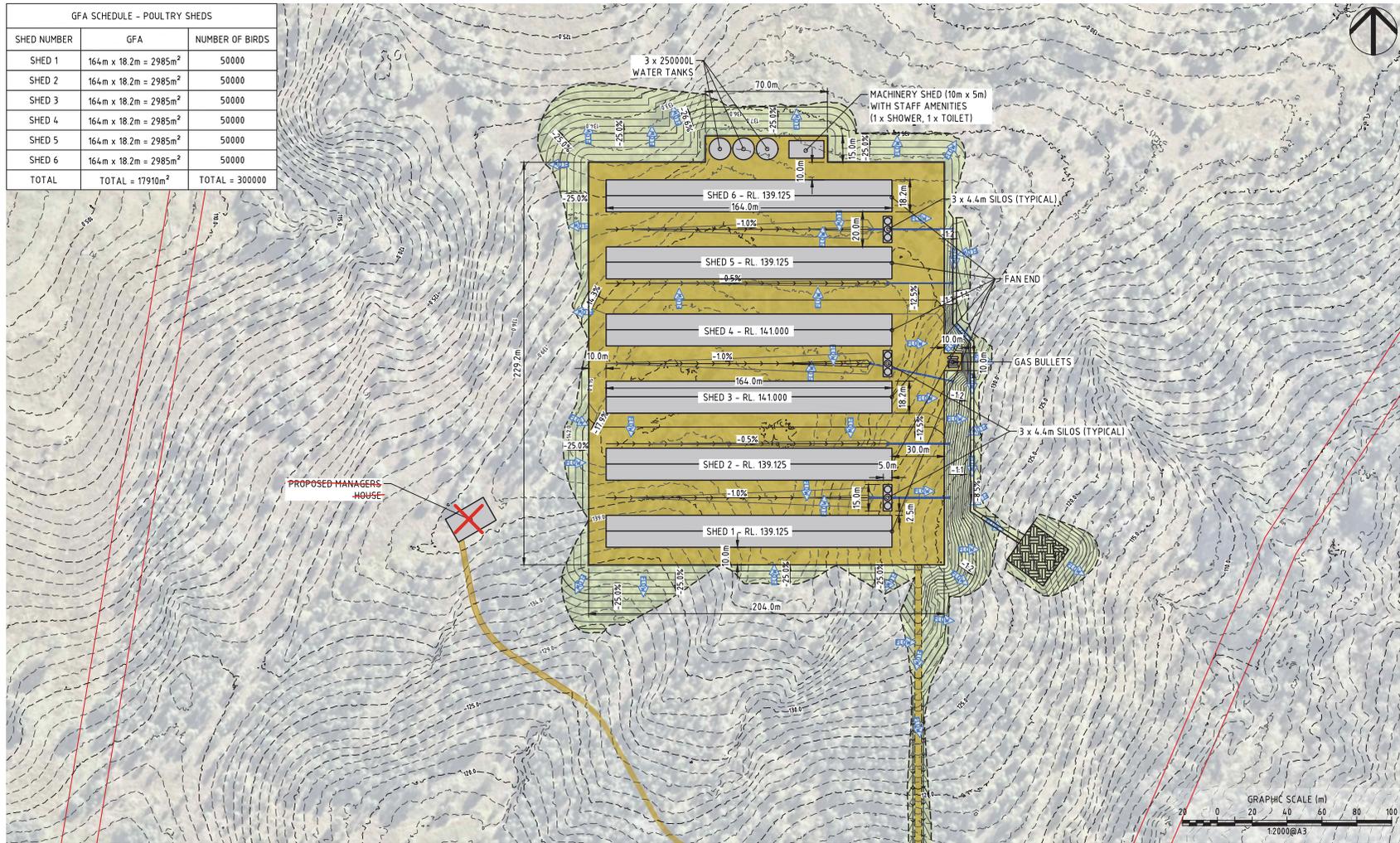
#### Option 3 - Refusal

That:

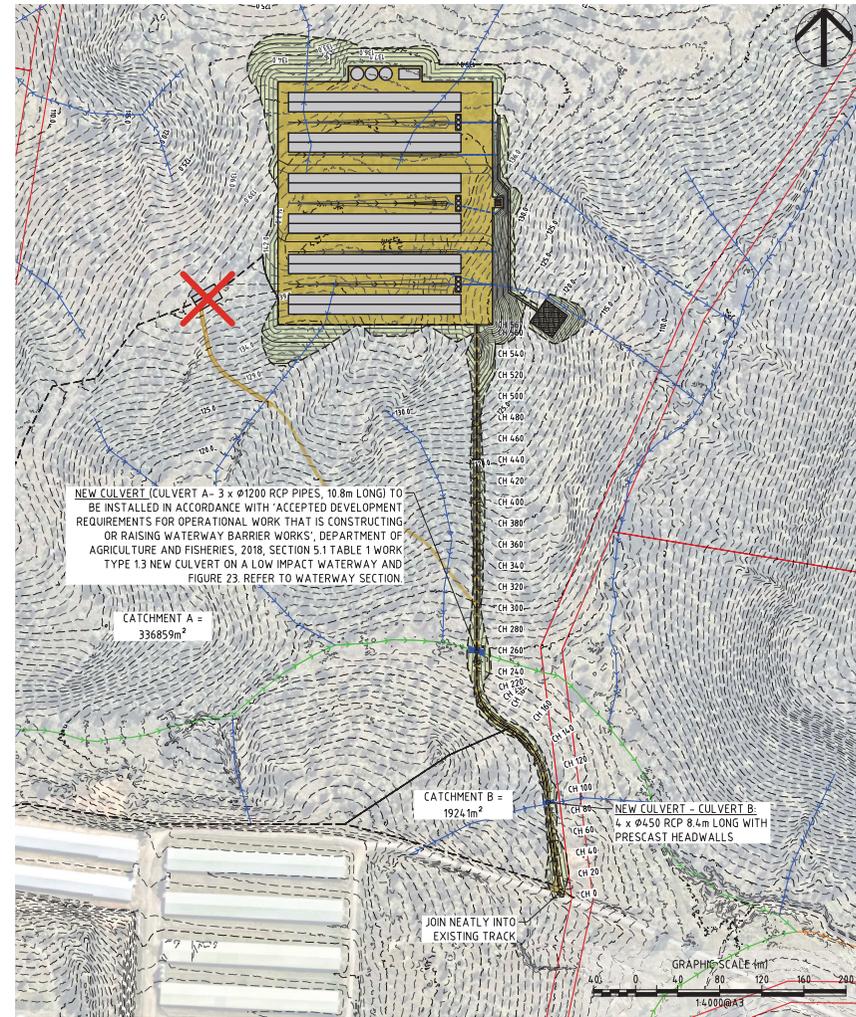
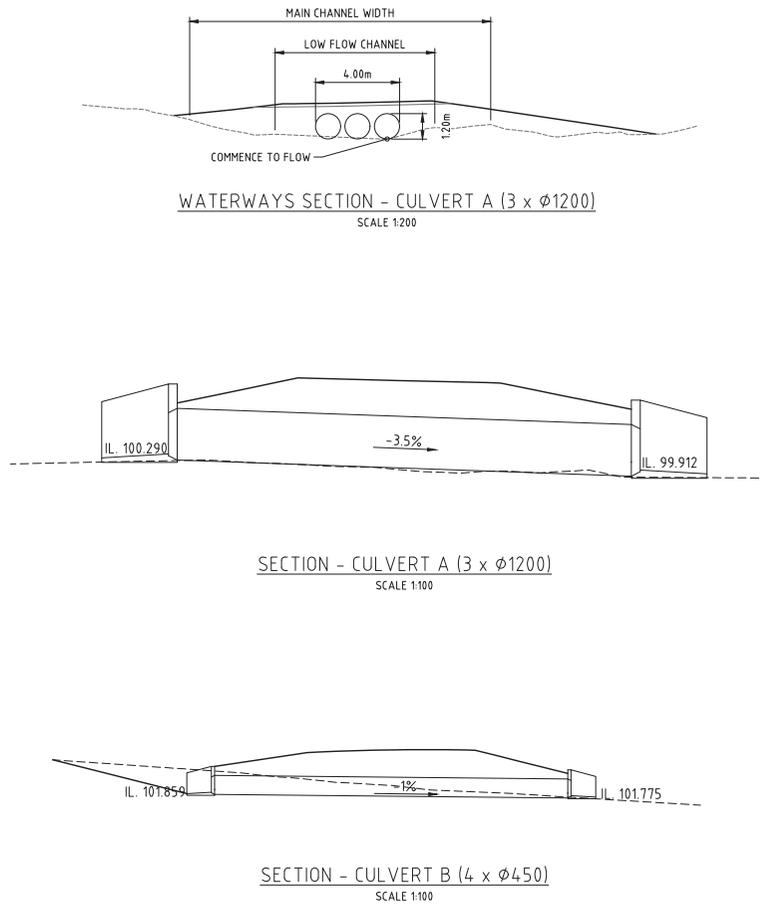
1. Council receive and note the report titled " titled "MCU24/160 Development Permit for Other Change (Material Change of Use - Intensive Animal Industry) at Unnamed Road, Tamrookum, described as, Lot 4 RP 44913, Lot 4 RP 50685, Lot 1 RP 58176, Lot 3 RP 58176 and Lot 2 SP 263574"; and
2. Council refuse development application MCU24/160, for the reasons presented.



		SURVEY DATA		SINGH ENTERPRISES QLD PTY LTD		OVERALL SITE LAYOUT		PO Box 554 Beaudesert QLD 4285 (07) 5541 3500 www.acsengineers.com.au <b>ACS Engineers</b> CIVIL   ENVIRONMENTAL   PROJECT MANAGEMENT		
		DATUM		2628 VIRGINIA DRIVE, HOPE ISLAND QLD 4212						
		MAP GRID				ENGINEERING CERTIFICATION (RPEQ)		DRAWING NUMBER		
		HEIGHT ORIGIN		SINGH PEACEFIELD POULTRY - 6 NEW SHEDS		#	FIELD	NAME	SIGNATURE	DATE
		SURVEY BOOKS		9508 MOUNT LINDESAY HIGHWAY, TAMROOKUM QLD 4285		13697	CIVIL	S. SHAY	<i>S. Shay</i>	03/12/24
A FOR APPROVAL		REVISION/DETAILS		DES		DATE		ACS-230099-POUL-03		
MLS		03/12/24		DWN		DATE		A		
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		SURVEY DATA		SINGH ENTERPRISES QLD PTY LTD		PO Box 554 Beaudesert QLD 4285		 CIVIL   ENVIRONMENTAL   PROJECT MANAGEMENT	
		DATUM		2628 VIRGINIA DRIVE, HOPE ISLAND QLD 4212		(07) 5541 3500 www.acsengineers.com.au			
		MAP GRID		SINGH PEACEFIELD POULTRY - 6 NEW SHEDS		DRAWING NUMBER		REVISION	
		HEIGHT ORIGIN		9508 MOUNT LINDESAY HIGHWAY, TAMROOKUM QLD 4285		ACS-230099-POUL-04		A	
		SURVEY BOOKS				ENGINEERING CERTIFICATION (IRPEQ)			
A FOR APPROVAL		MLS 03/12/24				# FIELD NAME SIGNATURE DATE			
REVISION/DETAILS		DWN DATE		DES DATE		13697 CIVIL S. SHAY <i>[Signature]</i> 03/12/24			
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		SURVEY DATA		SINGH ENTERPRISES QLD PTY LTD		ACCESS ROAD LAYOUT PLAN		PO Box 554 Beaudesert QLD 4285		ACS Engineers	
		DATUM		2628 VIRGINIA DRIVE, HOPE ISLAND QLD 4212				(07) 5541 3500		CIVIL / ENVIRONMENTAL / PROJECT MANAGEMENT	
		MAP GRID						www.acsengineers.com.au		DRAWING NUMBER	
		HEIGHT ORIGIN		SINGH PEACEFIELD POULTRY - 6 NEW SHEDS						REVISION	
		SURVEY BOOKS		9508 MOUNT LINDESAY HIGHWAY, TAMROOKUM QLD 4285						ACS-230099-POUL-06	
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		REVISION/DETAILS				# FIELD NAME SIGNATURE DATE		ACS-230099-POUL-06		A	
		DWN DATE				13697 CIVIL S. SHAY [Signature] 03/12/24					
		DES DATE									
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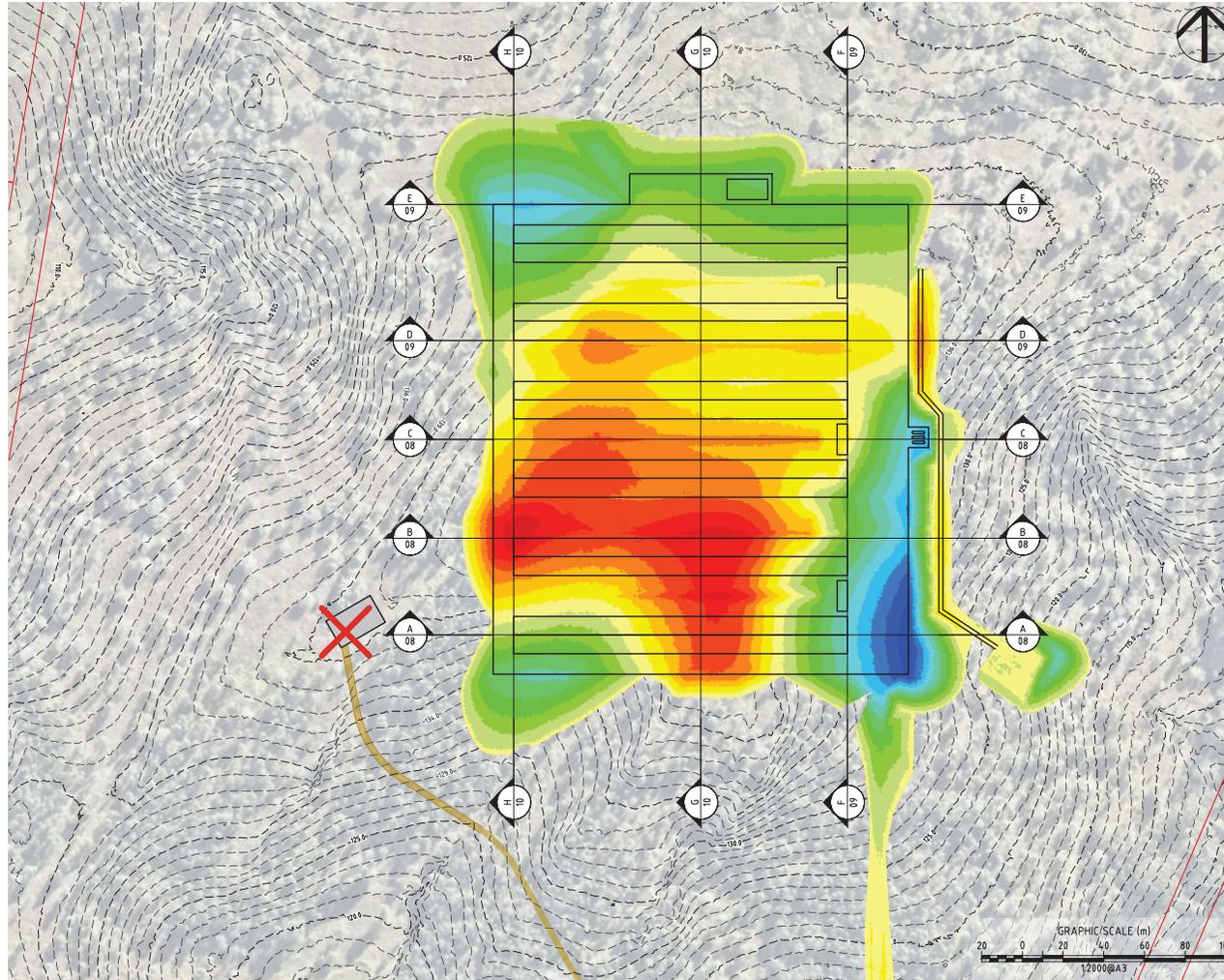
CUT/FILLDEPTH RANGE			
NO.	MIN. LEVEL	MAX. LEVEL	COLOUR
1	-7.000	-6.000	Red
2	-6.000	-5.000	Red
3	-5.000	-4.000	Red
4	-4.000	-3.000	Orange
5	-3.000	-2.000	Yellow
6	-2.000	-1.000	Yellow
7	-1.000	0.000	Light Green
8	0.000	1.000	Light Green
9	1.000	2.000	Light Green
10	2.000	3.000	Light Green
11	3.000	4.000	Light Green
12	4.000	5.000	Light Green
13	5.000	6.000	Light Green
14	6.000	7.000	Light Green
15	7.000	8.000	Light Green
16	8.000	9.000	Light Green
17	9.000	10.000	Light Green

VOLUMES:

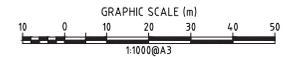
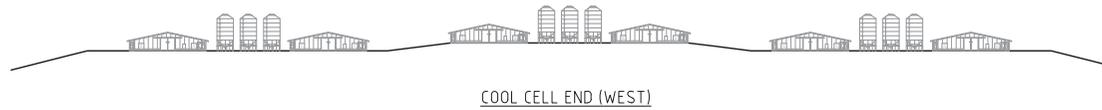
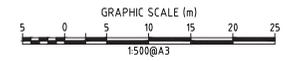
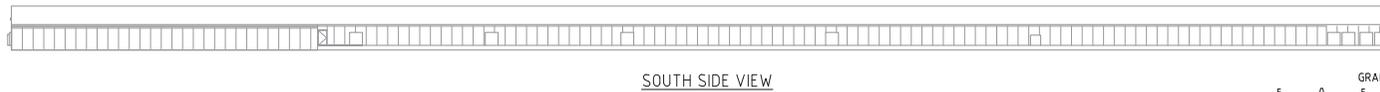
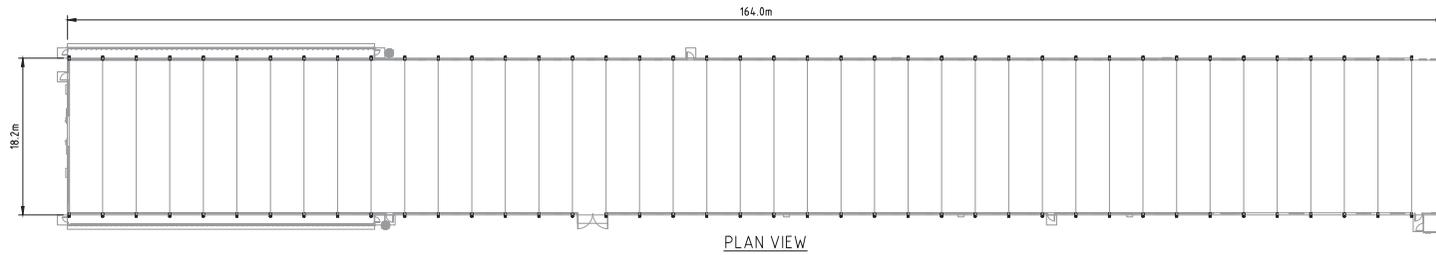
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FILL = 80840.4m<sup>3</sup>

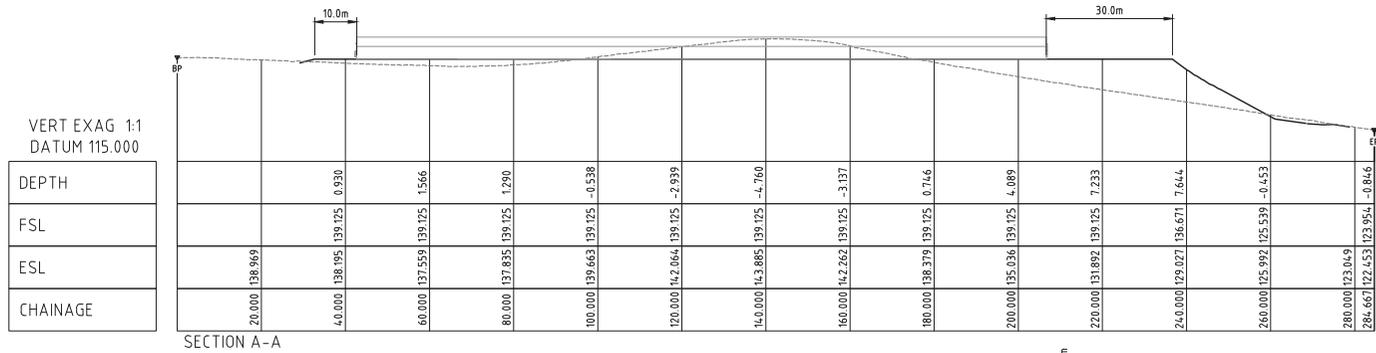
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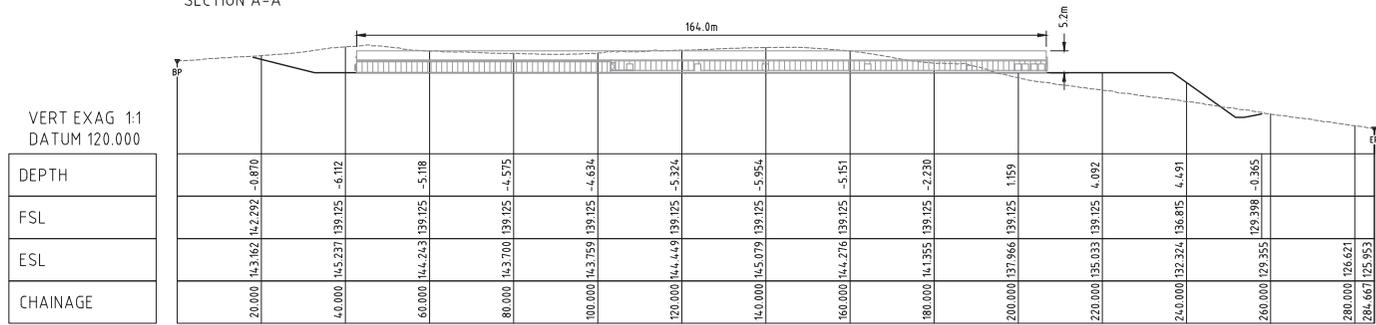
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		DATUM		2628 VIRGINIA DRIVE, HOPE ISLAND QLD 4212				DRAWING NUMBER	
		MAP GRID						ACS-230099-POUL-07	
		HEIGHT ORIGIN		SINGH PEACEFIELD POULTRY - 6 NEW SHEDS		ENGINEERING CERTIFICATION (IRPEQ)		REVISION	
		SURVEY BOOKS		9508 MOUNT LINDESAY HIGHWAY, TAMROOKUM QLD 4285		# FIELD NAME SIGNATURE DATE		A	
A FOR APPROVAL		MLS 03/12/24				13697 CIVIL S. SHAY <i>[Signature]</i> 03/12/24			
REVISION/DETAILS FILE C:\2300\DATA\ACSE\230099 SINGH PEACEFIELD POULTRY - 6 NEW SHEDS_172\DESIGN\DRAWING FILES\ACS-230099-POUL.DWG PLOT TIME: 13/12/2024 - 9:48AM BY USER: MALINDAS@LLS									



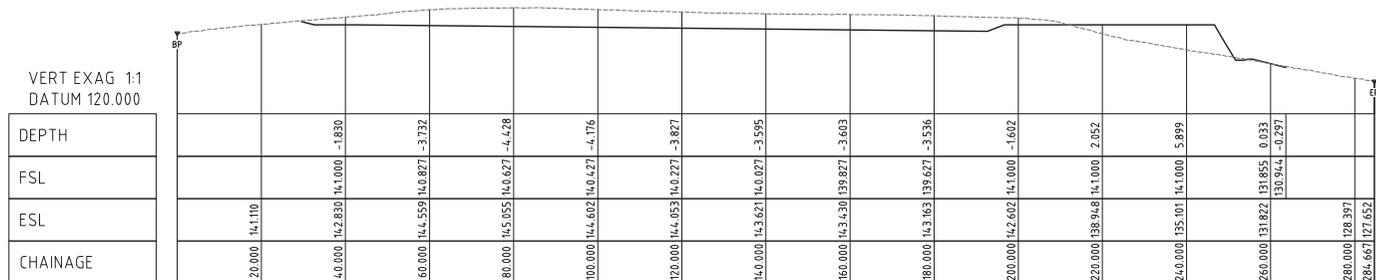
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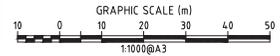
SECTION A-A



SECTION B-B



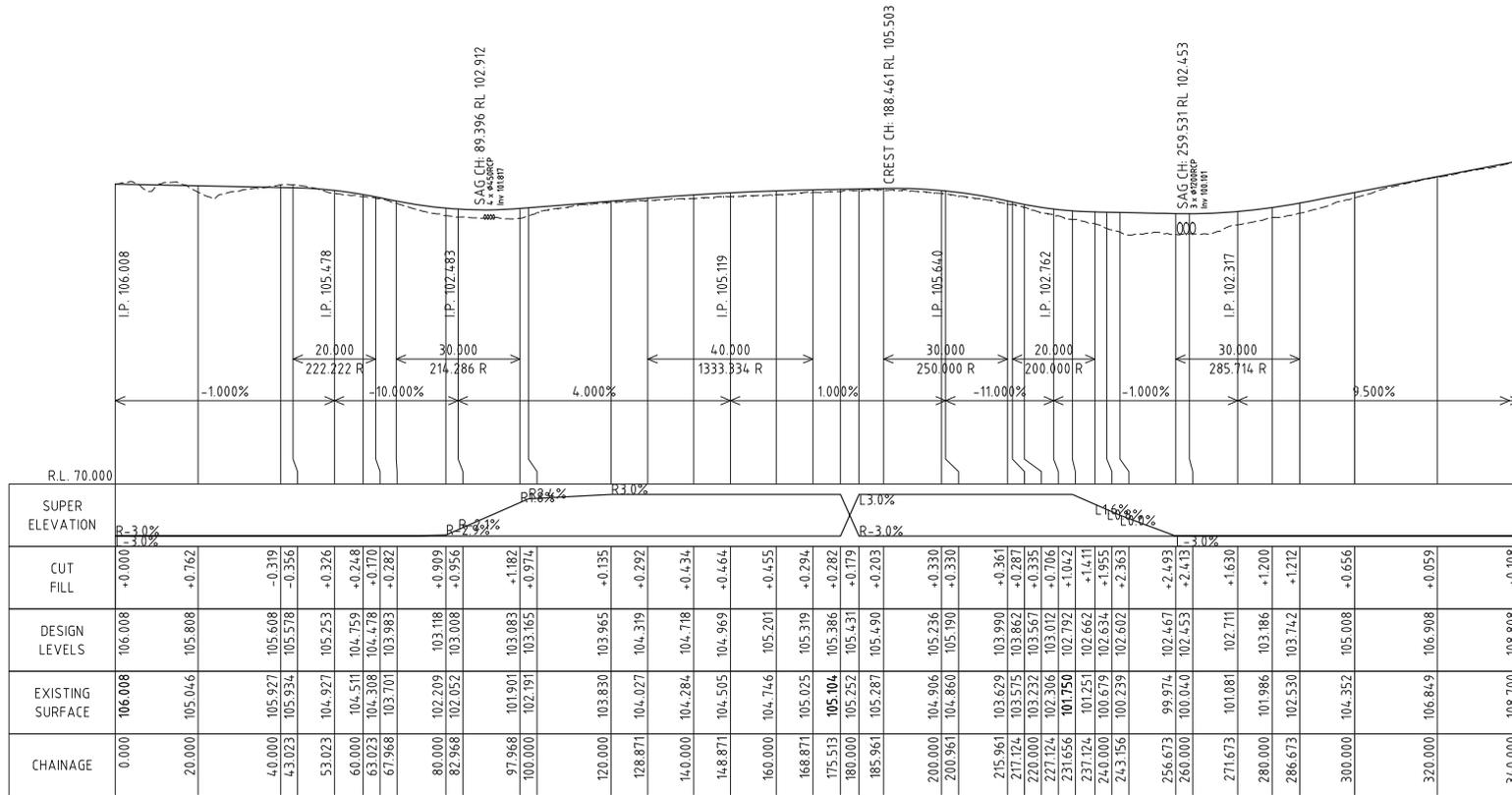
SECTION C-C



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		DATUM		2628 VIRGINIA DRIVE, HOPE ISLAND QLD 4212				(07) 5541 3500		CIVIL   ENVIRONMENTAL   PROJECT MANAGEMENT	
		MAP GRID						www.acsengineers.com.au			
		HEIGHT ORIGIN		SINGH PEACEFIELD POULTRY - 6 NEW SHEDS		ENGINEERING CERTIFICATION (RPEQ)		DRAWING NUMBER		REVISION	
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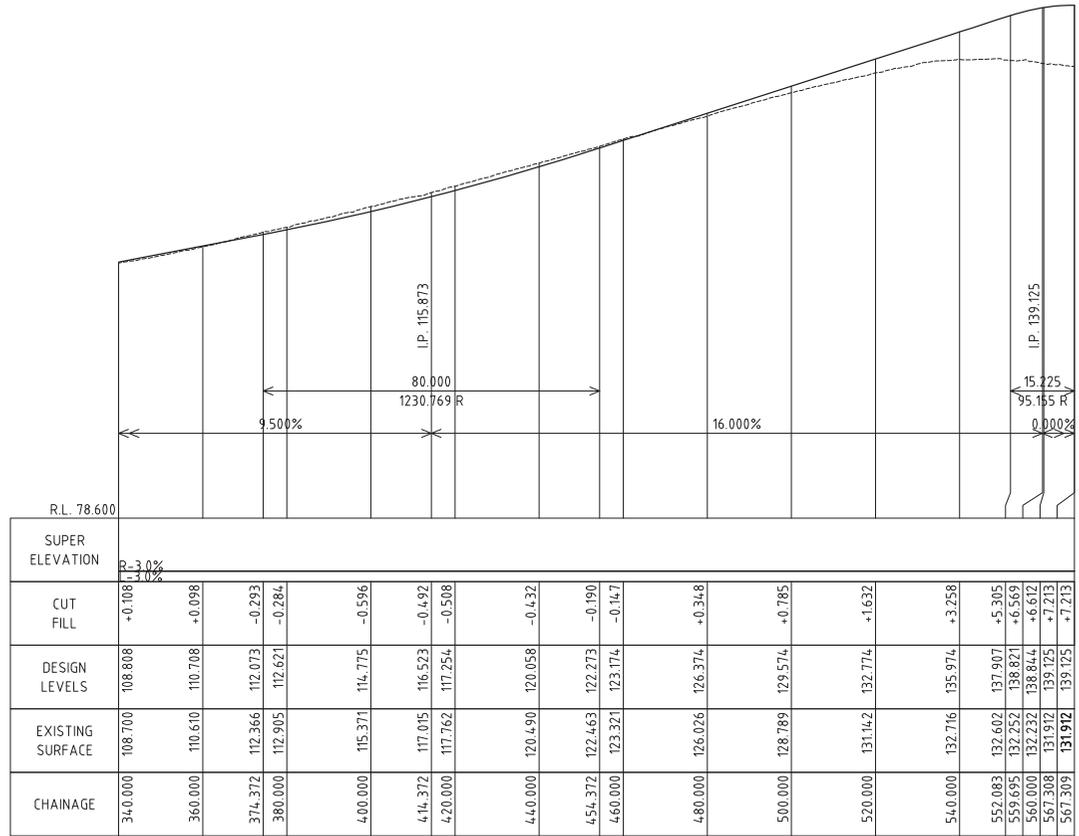






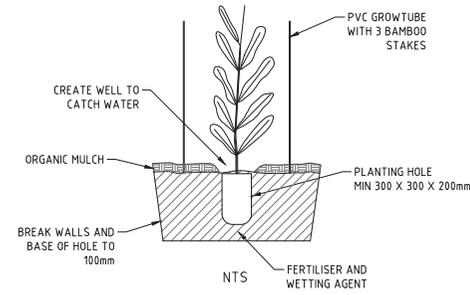
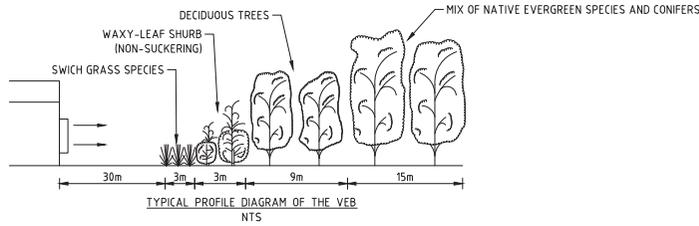
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		MAP GRID						www.acsengineers.com.au		DRAWING NUMBER	
		HEIGHT ORIGIN		SINGH PEACEFIELD POULTRY - 6 NEW SHEDS		ENGINEERING CERTIFICATION (RPEQ)				REVISION	
		SURVEY BOOKS		9508 MOUNT LINDESAY HIGHWAY, TAMROOKUM QLD 4285		# FIELD NAME SIGNATURE DATE				ACS-230099-POUL-12 A	
A FOR APPROVAL		MLS 03/12/24				13697 CIVIL S. SHAY		[Signature]		03/12/24	
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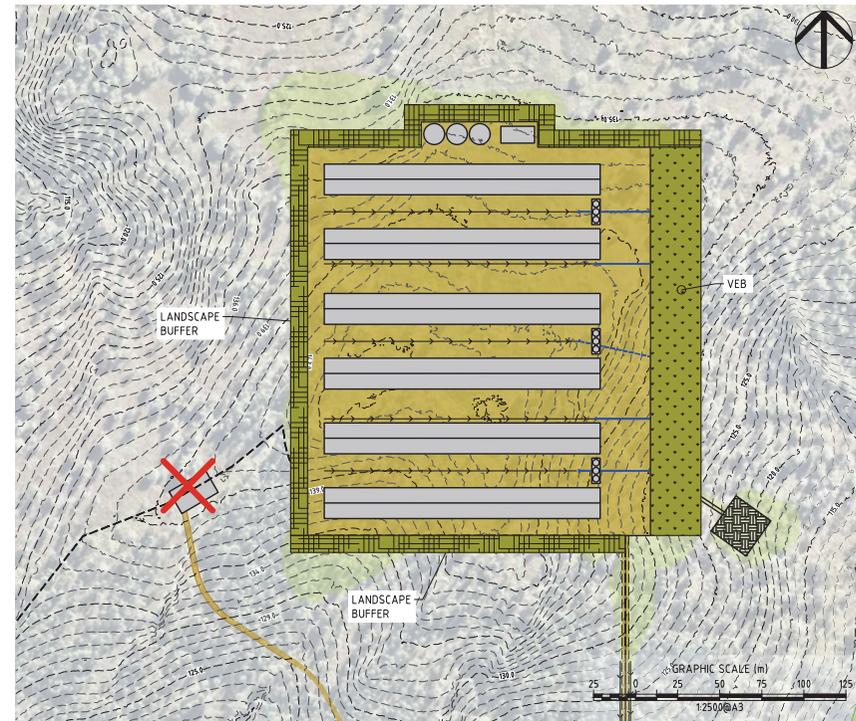
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- VEGETATIVE BUFFERS - LANDSCAPE BUFFER AND VEGETATIVE ENVIRONMENT BUFFER (VEB)**
- LANDSCAPE BUFFER TO BE 10M WIDE, VEB TO BE 30M (MIN) WIDE.
  - SPACING SHOULD RESULT IN PROMOTING QUICK VERTICAL GROWTH TO SHADE OUT WEED COMPETITION.
  - VEB TO BE PLANTED GENERALLY IN ACCORDANCE WITH 'VEGETATIVE ENVIRONMENTAL BUFFERS FOR AUSTRALIAN POULTRY FARMS - PRODUCER GUIDE' SEPT 2012 BELIEFELD, MCGAHAN & PRENTICE, 'VEGETATIVE ENVIRONMENTAL BUFFERS FOR MEAT CHICKEN FARMS - LITERATURE REVIEW, JULY 2015 BELIEFELD ETAL AND GUIDE TO VEGETATIVE ENVIRONMENTAL BUFFERS FOR TUNNEL-VENTILATED POULTRY HOUSE - JULY 2007 SCOTT.
  - VEB TO BE PLANTED WITH A MIXTURE OF UNDER STOREY (SHRUB) AND OVER STOREY (TREE) SPECIES CONSISTING OF:
    - INSIDE ROWS - SWICH GRASSES (EST. HEIGHT 1M)
      - CAREX ABBRESSA
      - PENNisetum ALOPECUROIDES
      - ATRIPLEX MUMMULARIA
    - MIDDLE ROWS - WAXY LEAF SHRUB (EST. HEIGHT 3M)
      - CORDYLINE AUSTRALIS
      - BRACHYCHITON ACERIFOLIUS
    - MIDDLE OUTER ROWS - DECIDUOUS TREES (EST. HEIGHT 20M)
      - ACACIA SALICINA
      - MELIA AZEDARACH
      - MELALEUCA BRACTEATA
      - CALLICTEMON CITRINUS FORMS
      - ELAEOGINUS MACROPHYLLA
      - BRACHYCHITON POPULNEUM
    - OUTER ROWS - EVERGREEN AND CONIFER TREES (EST. HEIGHT 30-40M)
      - ARAUCARIA CUNNINGHAMII
      - AGATHIS ROBUSTA
      - EUCALYPTUS TERICORNIS
  - LANDSCAPING BUFFER (8m WIDE) TO BE PLANTED (MINIMUM PLANTING DENSITY OF ONE (1) TREE OR SHRUB PER 16M<sup>2</sup>) WITH A MIXTURE OF UNDERSTOREY (SHRUB) AND OVERSTOREY (TREE) SPECIES ENDEMIC TO THE LOCAL REGIONAL ECOSYSTEM CONSISTING OF:
    - INSIDE ROW - LEPTOSPERMYM PETERSONII (EST. HEIGHT 4-5M)
    - MIDDLE ROW - MELALEUCA LINARIFOLIA (EST. HEIGHT 10M)
    - OUTSIDE ROW - EUCALYPTUS MELANOPHLOIA (EST. HEIGHT 20M)

- OTHER SUITABLE ALTERNATIVES INCLUDE:**
- EUCALYPTUS MOLUCCANA
  - ANGOPHORA FLORIBUNDA
  - CORYMBIA DARKSONIANA
  - LOPHOSTEMEN SUAVEOLENS
  - MELALEUCA BRACTEATA
  - MELALEUCA TRICHOSTACHYA

- 750MM TREES AND 500MM SHRUBS ARE TO BE PLANTED AS DETAILED IN INSET
  - BUFFER AREA TO BE FENCED TO PROTECT TREES FROM CATTLE
  - PLANTS TO BE MAINTAINED UNTIL ESTABLISHED. FAILURES TO BE REPLACED.
- PLANTING REQUIREMENTS**
- MULCHING**
    - LAY ORGANIC MULCH SUCH AS HOOP PINE FINES OR SIMILAR (TO MEET AS4454-2003) TO PROTECT BARE SOIL, RETAIN SOIL MOISTURE AND SUPPRESS WEED RE-GROWTH.
    - ENSURE MULCH IS FREE OF WEED SEED OR FOREIGN OBJECTS.
    - SPREAD TO A DEPTH OF 100MM - 150MM AND ALLOW TO SETTLE FOR 4 WEEKS BEFORE PLANTING SEEDLINGS.
    - SPOT SPRAY EMERGING WEEDS AS NECESSARY.
  - PLANTING**
    - RAKE AWAY AN AREA OF MULCH (MIN 300MM X 300MM) TO EXPOSE THE SOIL.
    - DIG A HOLE AT LEAST TWICE THE SIZE OF THE TUBE / POT (MIN 300MM X 300MM X 200MM DEEP)
    - DISTURB THE SURROUNDING SUBSTRATE UP TO 100MM TO AVOID LEAVING 'CLEAN' SIDES AND BASE OF THE HOLE PARTICULARLY WHEN AN AUGER HAS BEEN USED TO DIG THE HOLE.
    - POUR 5-6 LITERS OF WATER INTO THE HOLE AND ALLOW TO DRAIN FREELY.
    - ADD SLOW RELEASE FERTILISER AND SOIL WETTING AGENT TO THE BASE OF THE WELL AND COVER WITH A SMALL AMOUNT OF EXISTING SOIL, OR MIX IN WITH THE SOIL TO BE PLACED BACK AROUND THE PLANT. AVOID ANY CONTACT OF THE FERTILISER AND SOIL WETTING AGENT WITH THE PLANT ROOTS.
    - PLANT THE SEEDLING SLIGHTLY BELOW THE SOIL LEVEL AND BACK FILL THE HOLE WITH EXISTING SOIL COVERING THE TOP OF THE POTTING MIX. CREATE A SMALL WELL TO CATCH WATER.
    - REPLACE MULCH AROUND THE PLANT. ENSURE NO MULCH TOUCHES THE BASE OF THE TRUNK, MAINTAINING A SPACE OF 50-100MM BETWEEN MULCH AND TRUNK.
    - ERECT A 'GROWTUBE' AROUND EACH PLANT, REMOVE GROWTUBES WHEN PLANTS ARE AT 15 TIMES THE HEIGHT OF THE GROWTUBE.
    - WATER EACH PLANT THOROUGHLY WITHIN 1 HOUR OF PLANTING.
  - WATERING**
    - FOLLOW-UP WATERING SHOULD CONSIST OF:
      - ONCE PER WEEK - FOR THE FIRST 4 WEEKS
      - ONCE PER FORTNIGHT - FOR 4 TO 6 WEEKS
      - ONCE PER MONTH - FOR 3 TO 6 MONTHS



		SURVEY DATA		SINGH ENTERPRISES QLD PTY LTD		VEGETATION ENVIRONMENTAL BUFFER LAYOUT		PO Box 554 Beaudesert QLD 4285		ACS Engineers	
		DATUM		2628 VIRGINIA DRIVE, HOPE ISLAND QLD 4212				(07) 5541 3500		CIVIL / ENVIRONMENTAL / PROJECT MANAGEMENT	
		MAP GRID						www.acsengineers.com.au		DRAWING NUMBER	
		HEIGHT ORIGIN		SINGH PEACEFIELD POULTRY - 6 NEW SHEDS		ENGINEERING CERTIFICATION (RPEQ)				REVISION	
		SURVEY BOOKS				# FIELD NAME SIGNATURE DATE				ACS-230099-POUL-14	
A FOR APPROVAL		MLS 03/12/24		9508 MOUNT LINDESAY HIGHWAY, TAMROOKUM QLD 4285		13697 CIVIL S. SHAY [Signature] 03/12/24				A	
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**SEDIMENT AND EROSION CONTROL - GENERAL NOTES:**

- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MUST BE IMPLEMENTED AND A REVISED EROSION AND SEDIMENT CONTROL PLAN (ESCP) MUST BE SUBMITTED FOR APPROVAL IN THE EVENT THAT SITE CONDITIONS CHANGE SIGNIFICANTLY FROM THOSE CONSIDERED WITHIN THE CURRENT ESCP.
- WHERE THERE IS A HIGH PROBABILITY THAT SERIOUS OR MATERIAL ENVIRONMENTAL HARM MAY OCCUR AS A RESULT OF CURRENT SEDIMENT LEAVING THE SITE, APPROPRIATE ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MUST BE IMPLEMENTED SUCH THAT ALL REASONABLE AND PRACTICABLE MEASURES ARE BEING TAKEN TO PREVENT OR MINIMISE SUCH HARM. ONLY THOSE WORKS NECESSARY TO MINIMISE OR PREVENT ENVIRONMENTAL HARM SHALL BE CONDUCTED ON-SITE PRIOR TO APPROVAL OF THE AMENDED EROSION AND SEDIMENT CONTROL PLAN (ESCP).
- IN CIRCUMSTANCES WHERE IT IS CONSIDERED NECESSARY TO PREPARE AN AMENDED EROSION AND SEDIMENT CONTROL PLAN (ESCP), AND WHERE THE DELIVERY OF SUCH AN AMENDED ESCP IS NOT IMMINENT, THEN ALL NECESSARY NEW OR MODIFIED EROSION AND SEDIMENT CONTROL WORKS MUST BE IN ACCORDANCE TO WITH ICA (2008) BEST PRACTICE EROSION & SEDIMENT CONTROL UPON APPROVAL OF THE AMENDED ESCP ALL WORKS MUST BE IMPLEMENTED IN ACCORDANCE WITH THE AMENDED PLAN.

**SITE ACCESS:**

- PRIOR TO THE COMMENCEMENT OF SITE WORKS, THE LOCATION OF THE SITE ACCESS POINT MUST BE VERIFIED WITH RELEVANT LOCAL AUTHORITY.
- SITE ACCESS IS RESTRICTED TO ONE LOCATION.
- SITE EXIT POINT MUST BE APPROPRIATELY MANAGED TO MINIMISE THE RISK OF SEDIMENT BEING TRACKED ONTO SEALED PUBLIC ROADWAYS. STORMWATER RUNOFF FROM ACCESS ROADS AND STABILISED ENTRY/EXIT POINTS MUST DRAIN TO AN APPROPRIATE SEDIMENT CONTROL DEVICE.

**LAND CLEARING**

- LAND CLEARING MUST BE DELAYED AS LONG AS PRACTICABLE AND MUST BE UNDERTAKEN IN CONJUNCTION WITH DEVELOPMENT, UNLESS OTHERWISE APPROVED BY THE SUPERINTENDENT.
- ALL REASONABLE AND PRACTICABLE EFFORTS MUST BE TAKEN TO DELAY THE REMOVAL OF, OR DISTURBANCE TO, EXISTING GROUND COVER (ORGANIC OR INORGANIC) PRIOR TO LAND-DISTURBING ACTIVITIES.
- BULK TREE CLEARING MUST OCCUR IN A MANNER THAT MINIMISES DISTURBANCE TO EXISTING GROUND COVER (ORGANIC OR INORGANIC).
- BULK TREE CLEARING AND GRUBBING OF THE SITE MUST BE IMMEDIATELY FOLLOWED BY SPECIFIED TEMPORARY STABILISATION MEASURES (E.G. TEMPORARY GRASSING, OR MULCHING) PRIOR TO COMMENCEMENT OF EACH STAGE OF CONSTRUCTION WORKS.
- DISTURBANCE TO NATURAL WATERCOURSES (INCLUDING BED AND BANKS) AND THEIR ASSOCIATED RIPARIAN ZONES MUST BE LIMITED TO THE MINIMUM PRACTICABLE.
- NO LAND CLEARING SHALL BE UNDERTAKEN UNLESS PRECEDED BY THE INSTALLATION OF ADEQUATE DRAINAGE AND SEDIMENT CONTROL MEASURES, UNLESS SUCH CLEARING IS REQUIRED FOR THE PURPOSE OF INSTALLING SUCH MEASURES, IN WHICH CASE, ONLY THE MINIMUM CLEARING REQUIRED TO INSTALL SUCH MEASURES SHALL OCCUR.
- LAND CLEARING MUST BE LIMITED TO 5m FROM THE EDGE OF PROPOSED CONSTRUCTED WORKS, 2m OF ESSENTIAL CONSTRUCTION TRAFFIC ROUTES, AND A TOTAL OF 10m WIDTH FOR CONSTRUCTION ACCESS, UNLESS OTHERWISE APPROVED BY THE SUPERINTENDENT.
- PRIOR TO LAND CLEARING, AREAS OF PROTECTED VEGETATION, AND SIGNIFICANT AREAS OF RETAINED VEGETATION MUST BE CLEARLY IDENTIFIED (E.G. WITH HIGH-VISIBILITY TAPE, OR LIGHT FENCING) FOR THE PURPOSES OF MINIMISING THE RISK OF UNNECESSARY LAND CLEARING.
- ALL REASONABLE AND PRACTICABLE MEASURES MUST BE TAKEN TO MINIMISE THE REMOVAL OF, OR DISTURBANCE TO, THOSE TREES, SHRUBS AND GROUND COVERS (ORGANIC OR INORGANIC) THAT ARE INTENDED TO BE RETAINED.
- ALL LAND CLEARING MUST BE IN ACCORDANCE WITH THE FEDERAL, STATE AND LOCAL GOVERNMENT VEGETATION PROTECTION/PRESERVATION REQUIREMENTS AND/OR POLICIES.
- LAND CLEARING IS LIMITED TO THE MINIMUM PRACTICABLE DURING THOSE PERIODS WHEN SOIL EROSION DUE TO WIND, RAIN OR SURFACE WATER IS POSSIBLE.
- LAND CLEARING MUST NOT EXTEND BEYOND THAT NECESSARY TO PROVIDE UP TO EIGHT (8) WEEKS OF SITE ACTIVITY DURING THOSE MONTHS WHEN THE ACTUAL OR AVERAGE RAINFALL IS LESS THAN 45mm, SIX (6) IF BETWEEN 45 AND 100mm, FOUR (4) WEEKS IF BETWEEN 100 AND 225mm, AND TWO (2) WEEKS IF GREATER THAN 225mm.

**SOIL AND STOCKPILE MANAGEMENT:**

- ALL REASONABLE AND PRACTICABLE MEASURES MUST BE TAKEN TO OBTAIN THE MAXIMUM BENEFIT FROM EXISTING TOPSOIL, INCLUDING:
  - WHERE THE PROPOSED AREA OF SOIL DISTURBANCE DOES NOT EXCEED 2500m<sup>2</sup>, AND THE TOPSOIL DOES NOT CONTAIN UNDESIRABLE WEED SEED, THE TOP 100mm OF SOIL LOCATED WITHIN AREAS OF PROPOSED SOIL DISTURBANCE (INCLUDING STOCKPILE AREAS) MUST BE STRIPPED AND STOCKPILED SEPARATELY FROM THE REMAINING SOIL.
  - WHERE THE PROPOSED AREA OF SOIL DISTURBANCE EXCEEDS 2500m<sup>2</sup>, AND THE TOPSOIL DOES NOT CONTAIN UNDESIRABLE WEED SEED, THE TOP 50mm OF SOIL MUST BE STRIPPED AND STOCKPILED SEPARATELY FROM THE REMAINING TOPSOIL, AND SPREAD AS A FINAL SURFACE SOIL.
  - IN AREAS WHERE THE TOPSOIL CONTAINS UNDESIRABLE WEED SEED, THE AFFECTED SOIL MUST BE SUITABLY BURIED OR REMOVED FROM THE SITE.
- STOCKPILES OF ERODIBLE MATERIAL THAT HAS THE POTENTIAL TO CAUSE ENVIRONMENTAL HARM IF DISPLACED MUST BE:
  - APPROPRIATELY PROTECTED FROM WIND, RAIN, CONCENTRATED SURFACE FLOW AND EXCESSIVE UP-SLOPE STORMWATER SURFACE FLOWS.
  - LOCATED AT LEAST 2m FROM ANY HAZARDOUS AREA, RETAINED VEGETATION OR CONCENTRATED DRAINAGE LINE.
  - LOCATED UP-SLOPE OF AN APPROPRIATE SEDIMENT CONTROL SYSTEM.
  - PROVIDED WITH AN APPROPRIATE PROTECTIVE COVER (SYNTHETIC, MULCH OR VEGETATIVE) IF THE MATERIALS ARE LIKELY TO BE STOCKPILED FOR MORE THAN 28 DAYS.
  - PROVIDED WITH AN APPROPRIATE PROTECTIVE COVER (SYNTHETIC, MULCH OR VEGETATIVE) IF THE MATERIALS ARE LIKELY TO BE STOCKPILED FOR MORE THAN 10 DAYS DURING THOSE MONTHS THAT HAVE A HIGH EROSION RISK.
  - PROVIDED WITH AN APPROPRIATE PROTECTIVE COVER (SYNTHETIC, MULCH OR VEGETATIVE) IF THE MATERIALS ARE LIKELY TO BE STOCKPILED FOR MORE THAN 5 DAYS DURING THOSE MONTHS THAT HAVE A EXTREME EROSION RISK.
- A SUITABLE FLOW DIVERSION SYSTEM MUST BE ESTABLISHED IMMEDIATELY UP-SLOPE OF A STOCKPILE OF ERODIBLE MATERIAL THAT HAS THE POTENTIAL TO CAUSE ENVIRONMENTAL HARM IF DISPLACED IF THE UP-SLOPE CATCHMENT AREA DRAINING TO THE STOCKPILE EXCEEDS 1500m<sup>2</sup>.

**SITE MANAGEMENT:**

- ALL OFFICE FACILITIES AND OPERATIONAL ACTIVITIES MUST BE LOCATED SUCH THAT ANY LIQUID EFFLUENT (E.G. PROCESS WATER, WASH-DOWN WATER, EFFLUENT FROM EQUIPMENT CLEANING, OR PLANT WATERING), CAN BE TOTALLY CONTAINED AND TREATED WITHIN THE SITE.
- THE CONSTRUCTION SCHEDULE MUST AIM TO MINIMISE THE DURATION THAT ANY AND ALL AREAS OF SOIL ARE EXPOSED TO THE EROSION EFFECTS OF WIND, RAIN AND SURFACE WATER.
- LAND-DISTURBING ACTIVITIES MUST BE UNDERTAKEN IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN (ESCP) AND ASSOCIATED DEVELOPMENT CONDITIONS.
- LAND-DISTURBING ACTIVITIES MUST BE UNDERTAKEN IN SUCH A MANNER THAT ALLOWS ALL REASONABLE AND PRACTICABLE MEASURES TO BE UNDERTAKEN TO:
  - ALLOW STORMWATER TO PASS THROUGH THE SITE IN A CONTROLLED MANNER AND AT NON-EROSIVE FLOW VELOCITIES UP TO THE SPECIFIED DESIGN STORM DISCHARGE;
  - MINIMISE SOIL EROSION RESULTING FROM RAIN, WATER FLOW AND/OR WIND;
  - MINIMISE ADVERSE EFFECTS OF SEDIMENT RUNOFF, INCLUDING SAFETY ISSUES;
  - PREVENT OR AT LEAST MINIMISE, ENVIRONMENTAL HARM RESULTING FROM WORK-RELATED SOIL EROSION AND SEDIMENT RUNOFF;
  - ENSURE THAT THE VALUE AND USE OF LAND/PROPERTIES ADJACENT TO THE DEVELOPMENT (INCLUDING ROADS) ARE NOT DIMINISHED AS A RESULT OF THE ADOPTED ESC MEASURES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES MUST CONFORM TO THE STANDARDS AND SPECIFICATIONS CONTAINED IN:
  - THE DEVELOPMENT APPROVAL CONDITION ISSUED BY RELEVANT LOCAL AUTHORITY; AND/OR
  - THE APPROVED ESCP AND SUPPORTING DOCUMENTATION, OR
  - THE LATEST VERSION OF ICA (2008) BEST PRACTICE EROSION & SEDIMENT CONTROL IF THE STANDARDS AND SPECIFICATIONS ARE NOT CONTAINED IN THE APPROVED ESCP.
- ANY WORKS THAT MAY CAUSE SIGNIFICANT SOIL DISTURBANCE AND ARE ANCILLARY TO ANY ACTIVITY FOR WHICH REGULATORY BODY APPROVAL IS REQUIRED, MUST NOT COMMENCE BEFORE THE ISSUE OF THAT APPROVAL.
- ADDITIONAL AND/OR ALTERNATIVE ESC MEASURES MUST BE IMPLEMENTED IN THE EVENT THAT THE RELEVANT AUTHORITY IDENTIFIES THAT UNACCEPTABLE OFF-SITE SEDIMENTATION IS OCCURRING AS A RESULT OF THE WORK ACTIVITIES.
- LAND-DISTURBING ACTIVITIES MUST NOT CAUSE UNNECESSARY SOIL DISTURBANCE IF AN ALTERNATIVE CONSTRUCTION PROCESS IS AVAILABLE THAT ACHIEVES THE SAME OR EQUIVALENT OUTCOMES AT AN EQUIVALENT COST.
- SEDIMENT (INCLUDING CLAY, SILT, SAND, GRAVEL, SOIL, MUD, CEMENT AND CERAMIC WASTE) DEPOSITED OFF THE SITE AS A DIRECT RESULT OF AN ON-SITE ACTIVITY, MUST BE COLLECTED AND THE AREA APPROPRIATELY CLEANED/REHABILITATED AS SOON AS REASONABLE AND PRACTICABLE, AND IN A MANNER THAT GIVES APPROPRIATE CONSIDERATION TO THE SAFETY AND ENVIRONMENTAL RISKS ASSOCIATED WITH THE SEDIMENT DEPOSITION.
- ALL WASTE INCLUDING PETROLEUM AND OIL-BASED PRODUCTS, MUST BE PREVENTED FROM ENTERING AN INTERNAL WATER BODY, OR AN EXTERNAL DRAIN, STORMWATER SYSTEM, OR WATER BODY.
- ALL FLAMMABLE AND COMBUSTIBLE LIQUIDS, INCLUDING ALL LIQUID CHEMICALS IF SUCH CHEMICALS COULD POTENTIALLY BE WASHED OR DISCHARGED FROM THE SITE, ARE STORED AND HANDLED ON-SITE IN ACCORDANCE WITH RELEVANT STANDARDS SUCH AS AS1940 THE STORAGE AND HANDLING OF FLAMMABLE AND COMBUSTIBLE LIQUIDS.
- NO MORE THAN 150m OF A STORMWATER, SEWER LINE OR OTHER SERVICE TRENCH MUST BE OPEN AT ANY ONE TIME.
- SITE SPOIL MUST BE LAWFULLY DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ONGOING SOIL EROSION OR ENVIRONMENTAL HARM.
- ALL FILL MATERIAL PLACED ON SITE MUST COMPRISE ONLY NATURAL EARTH AND ROCK, AND IS TO BE FREE OF CONTAMINANTS, BE FREE DRAINING, AND BE COMPACTED IN LAYERS NOT EXCEEDING 300mm TO 90% MODIFIED MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS1289.

**DRAINAGE CONTROL:**

- ALL DRAINAGE CONTROL MEASURES MUST BE APPLIED AND MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION PLANS.
- WHEREVER REASONABLE AND PRACTICABLE, STORMWATER RUNOFF ENTERING THE SITE FROM EXTERNAL AREAS, AND NON-SEDIMENT LADEN (CLEAN) STORMWATER RUNOFF ENTERING A WORK AREA OR AREA OF SOIL DISTURBANCE, MUST BE DIVERTED AROUND OR THROUGH THAT AREA IN A MANNER THAT MINIMISES SOIL EROSION AND THE CONTAMINATION OF THAT WATER FOR ALL DISCHARGES UP TO THE SPECIFIED DESIGN STORM DISCHARGE.
- DURING THE CONSTRUCTION PERIOD, ALL REASONABLE AND PRACTICABLE MEASURES MUST BE IMPLEMENTED TO CONTROL FLOW VELOCITIES IN SUCH A MANNER THAN PREVENTS SOIL EROSION ALONG DRAINAGE PATHS AND AT THE ENTRANCE AND EXIT OF ALL DRAINS AND DRAINAGE PIPES DURING ALL STORMS UP TO THE RELEVANT DESIGN STORM DISCHARGE.
- TO THE MAXIMUM DEGREE REASONABLE AND PRACTICABLE, ALL WATERS DISCHARGED DURING THE CONSTRUCTION PHASE MUST DISCHARGE ONTO STABLE LAND, IN A NON-EROSIVE MANNER, AND AT A LEGAL POINT OF DISCHARGE.
- WHEREVER REASONABLE AND PRACTICABLE, "CLEAN" SURFACE WATERS MUST BE DIVERTED AWAY FROM SEDIMENT CONTROL DEVICES AND ANY UNTREATED, SEDIMENT-LADEN WATERS.
- DURING THE CONSTRUCTION PERIOD, ROOF WATER MUST BE MANAGED IN A MANNER THAT MINIMISES SOIL EROSION THROUGHOUT THE SITE, AND SITE WETNESS WITHIN ACTIVE WORK AREAS.
- DRAINS ARE TO BE SIZED AND CONSTRUCTED TO ALLOW WATER TO DRAIN. THIS MAY INCLUDE CUTTING INTO THE EARTH TO OBTAIN THE REQUIRED FALL TO PERMIT DRAINAGE. DIMENSIONS GIVEN ARE A MINIMUM.

		SURVEY DATA		SINGH ENTERPRISES QLD PTY LTD		EROSION & SEDIMENT CONTROL - NOTES -		PO Box 554 Beaudesert QLD 4285		ACS Engineers	
		DATUM		2628 VIRGINIA DRIVE, HOPE ISLAND QLD 4212		SHEET 1 OF 2		(07) 5541 3500 www.acsengineers.com.au		CIVIL   ENVIRONMENTAL   PROJECT MANAGEMENT	
		MAP GRID						DRAWING NUMBER		REVISION	
		HEIGHT ORIGIN						ACS-230099-POUL-16		A	
		SURVEY BOOKS		SINGH PEACEFIELD POULTRY - 6 NEW SHEDS							
A FOR APPROVAL		MLS 03/12/24		9508 MOUNT LINDESAY HIGHWAY, TAMROOKUM QLD 4285		13697 CIVIL S. SHAY		03/12/24			
REVISION/DETAILS		DWN DATE		DES DATE							
FILE C:\1289\DATA\ACS\99\23099 SINGH PEACEFIELD POULTRY - 6 NEW SHEDS - 12\DESIGN\DRAWING FILES\ACS-230099-POUL.DWG PLOT TIME: 03/12/2024 - 10:48 BY USER: MALINDA GILLES											

**EROSION CONTROL:**

1. ALL EROSION CONTROL MEASURES MUST BE APPLIED AND MAINTAINED IN ACCORDANCE WITH IECA (2008) BEST PRACTICE EROSION & SEDIMENT CONTROL.
2. THE APPLICATION OF LIQUID-BASED DUST SUPPRESSION MEASURES MUST ENSURE THAT SEDIMENT-LOADED RUNOFF RESULTING FROM SUCH MEASURES DOES NOT CREATE A TRAFFIC OR ENVIRONMENTAL HAZARD.
3. ALL TEMPORARY EARTH BANKS, FLOW DIVERSION SYSTEMS, AND EMBANKMENTS ASSOCIATED WITH CONSTRUCTED SEDIMENT BASINS MUST BE MACHINE-COMPACTED, SEEDED AND MULCHED FOR THE PURPOSE OF ESTABLISHING A TEMPORARY VEGETATIVE COVER WITHIN 10 DAYS AFTER GRADING.
4. UNPROTECTED SLOPE LENGTHS MUST NOT EXCEED 80m, OR AN EQUIVALENT VERTICAL FALL OF 3m DURING THE CONSTRUCTION PERIOD.
5. THE CONSTRUCTION AND STABILISATION OF EARTH BATTERS STEEPER THAN 6:1 (H:V) MUST BE STAGED SUCH THAT NO MORE THAN 3 VERTICAL-METRES OF ANY BATTER IS EXPOSED TO RAINFALL AT ANY INSTANT.
6. SYNTHETIC REINFORCED EROSION CONTROL MATS AND BLANKETS MUST NOT BE PLACED WITHIN, OR ADJACENT TO, RIPARIAN ZONES AND WATERCOURSES IF SUCH MATERIALS ARE LIKELY TO CAUSE ENVIRONMENTAL HARM TO WILDLIFE OR WILDLIFE HABITATS.
7. A MINIMUM 60% GROUND COVER MUST BE ACHIEVED ON ALL NON-COMPLETED EARTHWORKS EXPOSED TO ACCELERATED SOIL EROSION IF FURTHER CONSTRUCTION ACTIVITIES OR SOIL DISTURBANCES ARE LIKELY TO BE SUSPENDED FOR MORE THAN 30 DAYS DURING THOSE MONTHS WHEN THE EXPECTED RAINFALL IS LESS THAN 30mm; MINIMUM 70% COVER WITHIN 30 DAYS IF BETWEEN 30 AND 45mm; MINIMUM 70% COVER WITHIN 20 DAYS IF BETWEEN 45 AND 100mm; MINIMUM 75% COVER WITHIN 10 DAYS IF BETWEEN 100 AND 225mm; AND MINIMUM 80% COVER WITHIN 5 DAYS IF GREATER THAN 225mm. (ALTERNATIVE TO ABOVE)

**SEDIMENT CONTROL:**

1. ALL SEDIMENT CONTROL MEASURES MUST BE APPLIED AND MAINTAINED IN ACCORDANCE WITH IECA (2008) BEST PRACTICE EROSION & SEDIMENT CONTROL.
2. OPTIMUM BENEFIT MUST BE MADE OF EVERY OPPORTUNITY TO TRAP SEDIMENT WITHIN THE WORK SITE, AND AS CLOSE AS PRACTICABLE TO ITS SOURCE.
3. SEDIMENT TRAPS MUST BE INSTALLED AND OPERATED TO BOTH COLLECT AND RETAIN SEDIMENT.
4. THE POTENTIAL SAFETY RISK OF A PROPOSED SEDIMENT TRAP TO SITE WORKERS AND THE PUBLIC MUST BE GIVEN APPROPRIATE CONSIDERATION, ESPECIALLY THOSE DEVICES LOCATED WITHIN PUBLICLY ACCESSIBLE AREAS.
5. ALL REASONABLE AND PRACTICABLE MEASURES MUST BE TAKEN TO PREVENT, OR AT LEAST MINIMISE, THE RELEASE OF SEDIMENT FROM THE SITE.
6. SUITABLE ALL-WEATHER MAINTENANCE ACCESS MUST BE PROVIDED TO ALL SEDIMENT CONTROL DEVICES.
7. SEDIMENT CONTROL DEVICES MUST BE DE-SILTED AND MADE FULLY OPERATIONAL AS SOON AS REASONABLE AND PRACTICABLE AFTER A SEDIMENT-PRODUCING EVENT, WHETHER NATURAL OR ARTIFICIAL, IF THE DEVICE'S SEDIMENT RETENTION CAPACITY REDUCES BY 30% OF DESIGN CAPACITY.
8. MATERIALS, WHETHER LIQUID OR SOLID, REMOVED FROM SEDIMENT CONTROL DEVICES DURING MAINTENANCE OR DECOMMISSIONING, MUST BE DISPOSED OF IN A MANNER THAT DOES NOT CAUSE ONGOING SOIL EROSION OR ENVIRONMENTAL HARM.

**ROADWORKS:**

1. VEGETATION REMOVED DURING ROAD WORKS MUST BE RE-USED TO THE MAXIMUM POSSIBLE EXTENT TO MINIMISE SHORT AND LONG-TERM SOIL EROSION. NON-SALVAGEABLE DEBRIS MUST BE DISPOSED OF IN A MANNER THAT DOES NOT CAUSE ONGOING ENVIRONMENTAL HARM.
2. SOIL DISTURBANCES MUST BE STAGED INTO MANAGEABLY-SIZED AREAS OF NO GREATER THAN TEN (10) HECTARES TO ENSURE ADEQUATE ESC MANAGEMENT AND PROGRESSIVE STABILISATION OF DISTURBED SURFACES.
3. NEWLY CONSTRUCTED SPRAY-SEALED ROADS MUST BE SWEEP THOROUGHLY AS SOON AS POSSIBLE AFTER GRAVELLING TO PREVENT EXCESS GRAVEL ENTERING STORMWATER DRAINS OR WATERWAYS.
4. DURING THE CONSTRUCTION PERIOD, ALL UNSTABLE FILL EMBANKMENTS ARE TO BE LEFT WITH A LIP (WINDROW) AT THE TOP OF THE SLOPE AT THE END OF EACH DAY'S OPERATION, OR OTHER APPROPRIATE DRAINAGE CONTROL MEASURES, TO PREVENT BANK EROSION.
5. ALL CUT AND FILL EARTH BATTERS ARE TO BE TOPSOILED, AND GRASS SEEDED/HYDROMULCHED WITHIN TEN (10) DAYS OF COMPLETION OF GRADING.

**SITE REHABILITATION:**

1. ALL DISTURBED AREAS IDENTIFIED AS VERY LOW, LOW, MEDIUM, HIGH, OR EXTREME EROSION RISK MUST BE SUITABLY STABILISED WITHIN 30, 30, 20, 10 OR 5 DAYS RESPECTIVELY, OR PRIOR TO ANTICIPATED RAINFALL, WHICHEVER IS THE GREATER, FROM THE DAY THAT SOIL DISTURBANCES ON THE AREA HAVE BEEN FINALISED.
2. A MINIMUM 60% GROUND COVER MUST BE ACHIEVED ON ALL COMPLETED EARTHWORKS EXPOSED TO ACCELERATED SOIL EROSION WITHIN 30 DAYS DURING THOSE MONTHS WHEN THE EXPECTED RAINFALL IS LESS THAN 30mm; MINIMUM 70% COVER WITHIN 30 DAYS IF BETWEEN 30 AND 45mm; MINIMUM 70% COVER WITHIN 20 DAYS IF BETWEEN 45 AND 100mm; MINIMUM 75% COVER WITHIN 10 DAYS IF BETWEEN 100 AND 225mm; AND MINIMUM 80% COVER WITHIN 5 DAYS IF GREATER THAN 225mm. (ALTERNATIVE TO ABOVE)
3. NO COMPLETED EARTHWORK SURFACE MUST REMAIN DENUDED FOR LONGER THAN 60 DAYS.
4. THE TYPE OF GROUND COVER APPLIED TO COMPLETED EARTHWORKS IS COMPATIBLE WITH THE ANTICIPATED LONG-TERM LAND USE, ENVIRONMENTAL RISK, AND SITE REHABILITATION MEASURES.
5. UNLESS OTHERWISE DIRECTED BY THE SUPERINTENDENT OR WHERE DIRECTED BY THE APPROVED REVEGETATION PLAN, TOPSOIL MUST BE PLACED AT A MINIMUM DEPTH OF 75mm ON SLOPES 4:1 (H:V) OR FLATTER, AND 50mm ON SLOPES STEEPER THAN 4:1.
6. SOIL AMELIORANTS MUST BE ADDED TO THE SOIL IN ACCORDANCE WITH THE APPROVED LANDSCAPE/REVEGETATION PLANS AND/OR SOIL ANALYSIS.
7. TEMPORARY SITE STABILISATION PROCEDURES MUST COMMENCE AT LEAST 30 DAYS PRIOR TO THE NOMINATED SITE SHUTDOWN DATE. AT LEAST 70% STABLE COVER OF ALL UNSTABLE AND/OR DISTURBED SOIL SURFACES MUST BE ACHIEVED PRIOR TO ANY SHUTDOWN. THE STABILISATION WORKS MUST NOT RELY UPON THE LONGEVITY OF NON-VEGETATED EROSION CONTROL BLANKETS, OR TEMPORARY SOIL BINDERS.
8. ALL UNSTABLE OR DISTURBED SOIL SURFACES MUST BE ADEQUATELY STABILISED AGAINST EROSION (MINIMUM 70%) PRIOR TO COMMENCEMENT OF USE, OR SURVEY PLAN ENDORSEMENT.

**SITE MAINTENANCE:**

1. ENSURE ESC PLANS ARE ON SITE AT ALL TIMES.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES, INCLUDING DRAINAGE CONTROL MEASURES, MUST BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES DURING THEIR OPERATIONAL LIVES.
3. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES, INCLUDING DRAINAGE CONTROL MEASURES, MUST BE FULLY OPERATIONAL AND MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES DURING THE MAINTENANCE PERIOD AS SPECIFIED BY RELEVANT AUTHORITY.
4. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES, INCLUDING DRAINAGE CONTROL MEASURES, MUST BE REMOVED AFTER ACHIEVING A SATISFACTORY "OFF-MAINTENANCE INSPECTION" BY THE RELEVANT AUTHORITY.
5. ALL DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSPECTED:
  - (i) AT LEAST DAILY (WHEN WORK IS OCCURRING ON-SITE);
  - (ii) AT LEAST WEEKLY (WHEN WORK IS NOT OCCURRING ON-SITE);
  - (iii) WITHIN 24 HOURS OF EXPECTED RAINFALL, AND
  - (iv) WITHIN 18 HOURS OF A RAINFALL EVENT OF SUFFICIENT INTENSITY AND DURATION TO CAUSE RUNOFF ON-SITE.
 IF FAILURE HAS BEEN FOUND, IMMEDIATE REMEDIATIONS ARE REQUIRED AND TO A STANDARD WHICH ENSURES THE FAILURE DOES NOT CONTINUALLY OCCUR UNDER DESIGN RAINFALL CONDITIONS.
6. WASHING/FLUSHING OF SEALED ROADWAYS MUST ONLY OCCUR WHERE SWEEPING HAS FAILED TO REMOVE SUFFICIENT SEDIMENT AND THERE IS A COMPELLING NEED TO REMOVE THE REMAINING SEDIMENT (E.G. FOR SAFETY REASONS). IN SUCH CIRCUMSTANCES, ALL REASONABLE AND PRACTICABLE SEDIMENT CONTROL MEASURES MUST BE USED TO PREVENT, OR AT LEAST MINIMISE, THE RELEASE OF SEDIMENT INTO RECEIVING WATERS. ONLY THOSE MEASURES THAT WILL NOT CAUSE SAFETY AND PROPERTY FLOODING ISSUES SHALL BE EMPLOYED. SEDIMENT REMOVED FROM ROADWAYS MUST BE DISPOSED OF IN A LAWFUL MANNER THAT DOES NOT CAUSE ONGOING SOIL EROSION OR ENVIRONMENTAL HARM.
7. SEDIMENT REMOVED FROM SEDIMENT TRAPS AND PLACES OF SEDIMENT DEPOSITION MUST BE DISPOSED OF IN A LAWFUL MANNER THAT DOES NOT CAUSE ONGOING SOIL EROSION OR ENVIRONMENTAL HARM.
8. MAINTENANCE IS TO OCCUR ON ALL EROSION AND SEDIMENT CONTROL MEASURES WHEN CAPACITY REDUCES BY 30%.
9. MAINTENANCE MOWING OF ALL ROAD SHOULDERS, TABLE DRAINS, BATTERS AND OTHER SURFACES LIKELY TO EXPERIENCE ACCELERATED SOIL EROSION MUST AIM TO LEAVE THE GRASS LENGTH NO SHORTER THAN 50mm WHERE REASONABLE AND PRACTICABLE.
10. MAINTENANCE MOWING MUST BE DONE IN A MANNER THAT WILL NOT DAMAGE THE PROFILE OF FORMED, SOFT EDGES, SUCH AS THE CREST OF EARTH EMBANKMENTS.
11. ENSURE RECORDS ARE KEPT OF DATES OF MAINTENANCE AND THE PERSONNEL RESPONSIBLE FOR UNDERTAKING THE MAINTENANCE.
12. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE SOIL EROSION IS LIMITED AS MUCH AS POSSIBLE. THE TECHNIQUES USED IN THE DESIGN SHOULD NOT BE TAKEN AS THE MAXIMUM CONTROLS ALLOWABLE, AND THE CONTRACTOR MAY ADD CONTROLS AS NECESSARY TO LIMIT SOIL EROSION AND SEDIMENTATION.
13. MONITORING SHALL BE UNDERTAKEN BY A PERSON WITH EXPERIENCE IN EROSION AND SEDIMENT CONTROL MONITORING. MONITORING IS TO BE UNDERTAKEN IN A MANNER WHICH COMPLIES WITH IECA GUIDELINES 2008, CHAPTER 7, SITE INSPECTION.

**OTHER:**

1. THE CONTRACTOR IS TO TAKE ALL NECESSARY PRECAUTIONS TO CONTROL EROSION AND DOWNSTREAM SEDIMENTATION DURING ALL STAGES OF CONSTRUCTION INCLUDING THE MAINTENANCE PERIOD.
2. ALL SEDIMENT CONTROL DEVICES SHALL BE MONITORED, CLEANED AND/OR REPAIRED WHENEVER THE ACCUMULATED SEDIMENT REDUCES THE CAPACITY BY 30%.
3. THE EXTENT OF GRASSING SHALL BE DETERMINED BY THE SUPERINTENDENT AND SHALL BE SEEDING, AS SPECIFIED, WITHIN SEVEN DAYS OF FINAL TRIMMING.
4. EXTENT AND POSITION OF SILT FENCE CONTROL MEASURES TO BE DETERMINED ON SITE BY SUPERINTENDENT.
5. MEASURES SHOWN ON THIS DRAWING ARE MINIMUM REQUIREMENTS ONLY.
6. SCOUR PROTECTION AND SILT MANAGEMENT MEASURES TO BE PROVIDED AT STORMWATER OUTLET HEADWALLS.
7. PROVISION TO BE MADE FOR DIRT/SAND REMOVAL FROM CONSTRUCTION VEHICLES PRIOR TO TRAVEL ON PUBLIC ROADS. METHOD TO BE APPROVED BY SUPERINTENDENT PRIOR TO COMMENCEMENT OF WORK.
8. ANY SILT OR SEDIMENT CAUSED BY CONSTRUCTION TRAFFIC ON EXISTING ROADS IS TO BE REMOVED DAILY.
9. THE CONTRACTOR SHALL IMPLEMENT EROSION AND SEDIMENT CONTROL PROCEDURES DURING CONSTRUCTION AND MAINTENANCE STAGES OF THE DEVELOPMENT AND SHALL TAKE ALL NECESSARY ACTIONS TO COMPLY WITH THE POLICY OBJECTIVES OF COUNCIL'S LOCAL PLANNING POLICY - EROSION AND SEDIMENT CONTROL.
10. A SCHEDULE SHALL BE SUBMITTED FOR THE APPROVAL OF COUNCIL'S REPRESENTATIVE AT THE PRE-START MEETING FOR THE FIELD IMPLEMENTATION OF EROSION AND SEDIMENT CONTROL, DETAILING THE STAGES AT WHICH VARIOUS MANAGEMENT TECHNIQUES WOULD BE IN PLACE AND AUDITING PROCEDURES.
11. FINAL FORM OF SEDIMENT EROSION CONTROL TO BE DECIDED ON SITE BY THE SUPERINTENDENT.
12. THE CONTRACTOR IS TO ENSURE THAT NO SILT REACHES THE DOWNSTREAM WATER COURSE AND IS TO PROVIDE ADEQUATE PROTECTION TO PREVENT THIS OCCURRING.

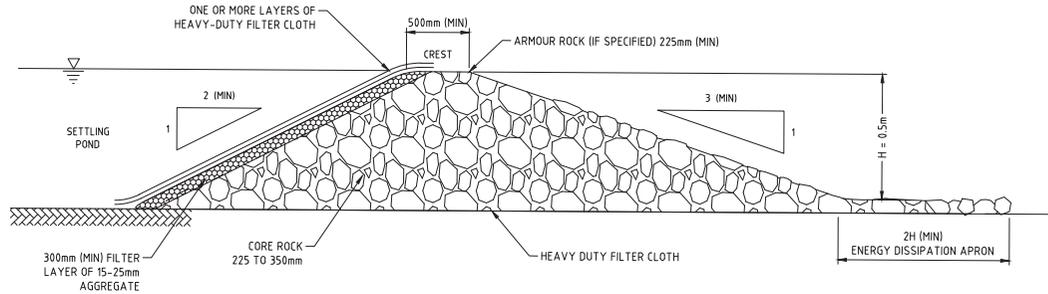
**ROCK CHECK DAMS, SAND BAG CHECK DAMS AND COIR LOGS:**

1. TO BE LOCATED AS DIRECTED ON SITE AND SPACED TO SUIT SETOUT DETAIL, REFER DRG 04.
2. MAINTENANCE OF CHECK DAMS TO BE IN ACCORDANCE WITH 'IECA BEST PRACTICE EROSION AND SEDIMENT CONTROL BOOK 6 STANDARD DRAWINGS'.

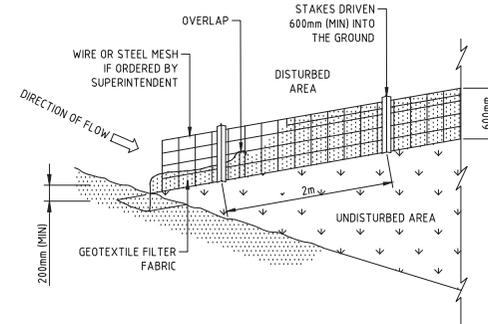
**LEVEL SPREADERS:**

1. TO BE LOCATED AS DIRECTED ON SITE, TYPICALLY MAX. SPACING OF 120m. MAINTENANCE OF CHECK DAMS TO BE IN ACCORDANCE WITH 'IECA BEST PRACTICE EROSION AND SEDIMENT CONTROL BOOK 6 STANDARD DRAWINGS'.

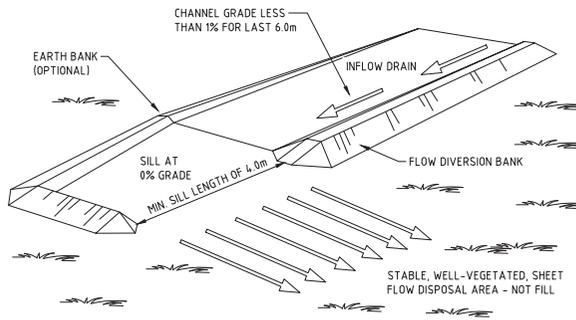
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		DATUM		2628 VIRGINIA DRIVE, HOPE ISLAND QLD 4212		SHEET 2 OF 2		(07) 5541 3500 www.acsengeers.com.au			
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		HEIGHT ORIGIN								REVISION	
		SURVEY BOOKS		SINGH PEACEFIELD POULTRY - 6 NEW SHEDS						ACS-230099-POUL-17	
A FOR APPROVAL		MLS 03/12/24		9508 MOUNT LINDESAY HIGHWAY, TAMROOKUM QLD 4285		13697 CIVIL S. SHAY		03/12/24		A	
REVISION/DETAILS		DWN DATE		DES DATE							
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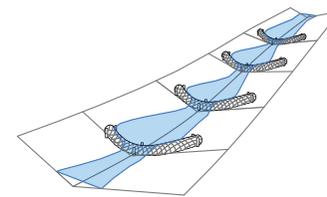
ROCK FILTER DAM WITH AGGREGATE FILTER  
(INSTREAM INSTALLATION)



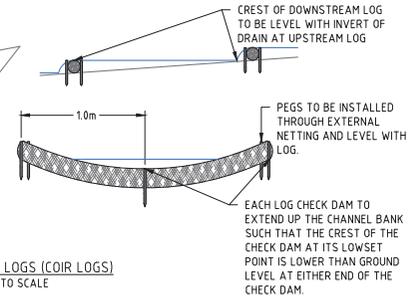
GEOTEXTILE SEDIMENT FENCE  
NOT TO SCALE



TYPICAL LAYOUT OF LEVEL SPREADER  
SCALE NTS



GEO LOGS (COIR LOGS)  
NOT TO SCALE



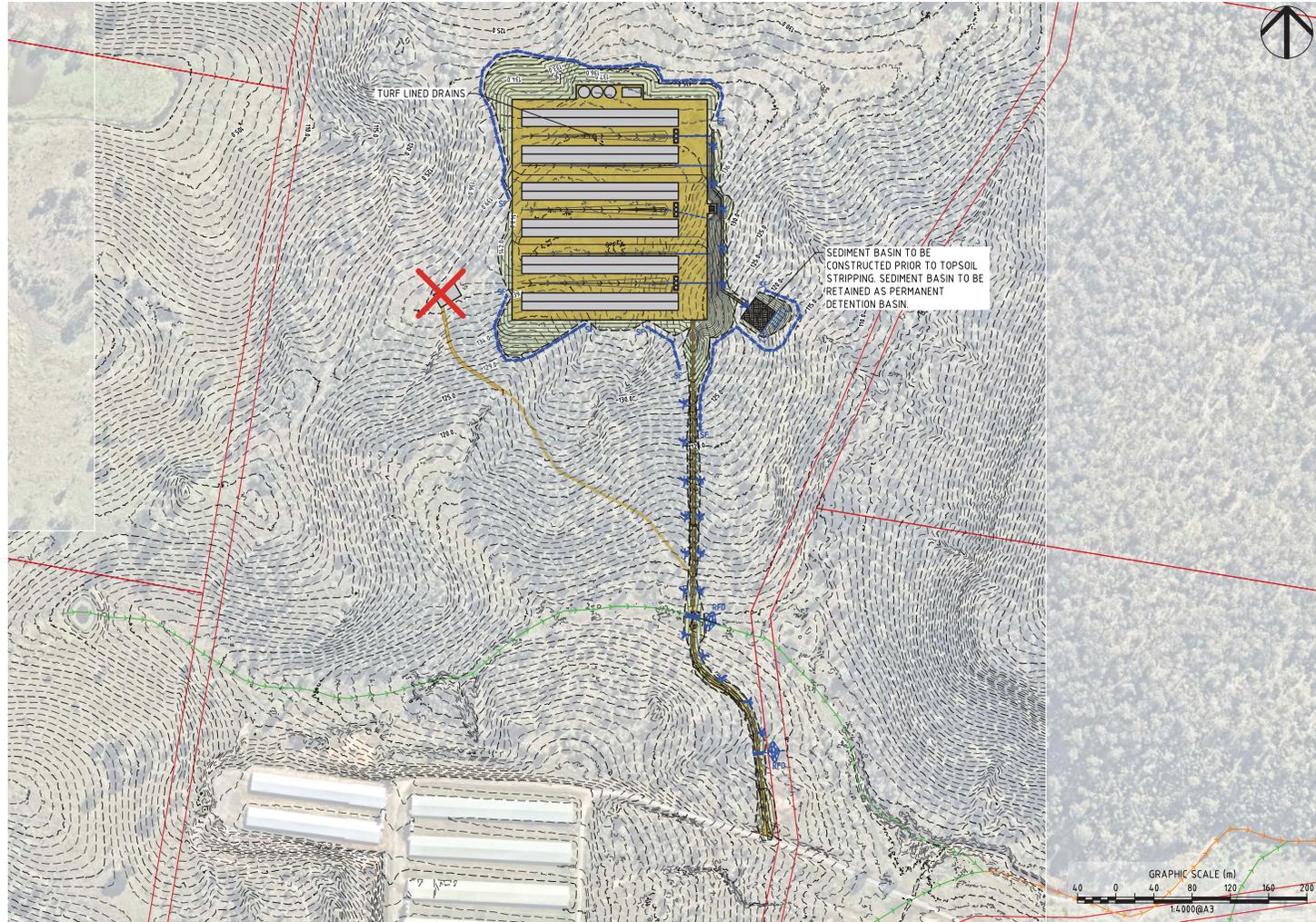
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		MAP GRID						www.acsengeers.com.au			
		HEIGHT ORIGIN						DRAWING NUMBER		REVISION	
		SURVEY BOOKS		SINGH PEACEFIELD POULTRY - 6 NEW SHEDS							
A		FOR APPROVAL		MLS		9508 MOUNT LINDESAY HIGHWAY, TAMROOKUM QLD 4285		13697		13697	
		REVISION/DETAILS		DWN				CIVIL		S. SHAY	
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**LEGEND**

-  GEO LOG (COIR LOG)
-  SEDIMENT FENCE
-  LEVEL SPREADER
-  ROCK FILTER DAM
-  HYDROSEEDING IMMEDIATELY UPON FINAL TRIMMING OF BATTERS
-  SEDIMENT BASIN

**NOTES:**

1. BATTER TO BE HYDROSEEDED IMMEDIATELY UPON FINAL TRIMMING.
2. DRAIN INVERT TO BE TURFED.
3. LANDSCAPING AND VEB TO BE PLANTED AS SOON AS PRACTICABLE UPON FINAL TRIMMING.



		SURVEY DATA		SINGH ENTERPRISES QLD PTY LTD		EROSION & SEDIMENT CONTROL - LAYOUT PLAN		PO Box 554 Beaudesert QLD 4285		 ACS Engineers CIVIL   ENVIRONMENTAL   PROJECT MANAGEMENT	
		DATUM		2628 VIRGINIA DRIVE, HOPE ISLAND QLD 4212				(07) 5541 3500 www.acsengineers.com.au			
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		SURVEY BOOKS		9508 MOUNT LINDESAY HIGHWAY, TAMROOKUM QLD 4285		# FIELD NAME SIGNATURE DATE		ACS-230099-POUL-19		A	
A FOR APPROVAL		MLS 03/12/24		DWN DATE		13697 CIVIL S. SHAY  03/12/24					
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## Asset & Environmental Sustainability

### 11.4 Proposed Issue of Lease to Community Organisation - Tamborine Mountain Little Theatre Company Inc.

**Executive Officer:** Manager Coordinator Asset Management /  
Acting General Manager Asset and Environmental Sustainability

**Item Author:** Principal Specialist Property Management /  
Acting Manager Resources and Sustainability

#### Attachments:

1. Locality Map - Tamborine Mountain Little Theatre Company Inc [↓](#) 
2. Aerial Map - Tamborine Mountain Little Theatre Company Inc [↓](#) 
3. Lease Plan [↓](#) 

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## Councillor Portfolio / Representation

Community, Arts and Culture - Cr Kerri Cryer

## Local Government Area Division

This report relates to Division 1.

## Executive Summary

The lease to Tamborine Mountain Little Theatre Company Inc (TMLTCI) expires on 30 June 2025. Council is requested to consider the issue of a new Lease Agreement with TMLTCI at 22 Main Street, Tamborine Mountain (Lot 1 on RP77682).

Discussions have commenced with the current lessee, in relation to a potential new lease, and in doing so, Council has undertaken an inspection of the site, issued a draft lease to the association and received eligibility documentation from the association, in accordance with Council's Community Tenure Over Council Property Policy.

## Recommendation

That:

1. Council resolve that the exception under section 236(1)(b)(ii) of the *Local Government Regulation 2012* applies to the proposed grant of lease to Tamborine Mountain Little Theatre Company Inc, for premises situated at 22 Main Street, Tamborine Mountain (Lot 1 on RP77682);
2. Council endorse a five-year freehold lease on standard terms as issued by Council for Tamborine Mountain Little Theatre Company Inc expiring 30 June 2030; and
3. Council delegate authority to the Chief Executive Officer in accordance with section 257(1) of the *Local Government Act 2009* to execute and finalise a lease agreement to Tamborine Mountain Little Theatre Company Inc.

## Previous Council Considerations / Resolutions

At the Corporate and Community Services Committee Meeting held on 19 May 2009 (Item 2.1), the Committee recommended that Council award a 10 year management lease of the Zamia Theatre to the Tamborine Little Theatre Group. This recommendation was adopted by Council at the Ordinary Meeting held on 26 May 2009.

## Report / Background

With reference to the aerial map (Attachment 2), TMLTCI currently occupy Lot 1 on RP77682 at 22 Main Street, Tamborine Mountain.

Council acquired ownership of the property in 2006, by way of a land swap with the Tamborine Mountain Rainforest Trust, who were at that time the owner of the property. An agreement was formed between Council and the trust, to swap ownership of parcels of Council owned (rainforest) land, in exchange for the Zamia Theatre.

Council has since invested funding to undertake restoration works to restore the theatre to its original form, committing to the project money received from the Q150 Legacy Infrastructure Program, the Regional and Local Community Infrastructure Program, as well as contributing from its own capital budget. The building is listed on the Local Heritage Register.

TMLTCI's previous lease agreement with Council commenced 1 July 2009, for a term of 10 years, with two x three-year options, expiring 30 June 2025.

During the term of the lease, the TMLTCI have undertaken improvements to the lease area through fundraising and successful grant applications. The improvements to date include the following:

- Theatre;
- Storage shed;
- Carpark
- Water tanks; and
- Solar panels.

TMLTCI currently has approximately 60 members and the facility is utilised most days with committee members reporting it is highly regarded within the Tamborine Mountain community. The facility is heavily booked with activities including movie nights, dancing, yoga, social and other activities.

The facility has been managed appropriately by TMLTCI under the terms of the previous agreement.

TMLTCI have provided the necessary eligibility documents for council to consider the issue of a new lease arrangement. Council officers have reviewed the documentation provided, and confirmed the associations eligibility, including:

- Evidence of not-for-profit status;
- Confirmation of executive committee members, positions held and their addresses;
- Copy of Public Liability Insurance Certificate of Currency;
- Copy of building insurance policies; and
- Copy of most recent annual report and financial statements.

On 28 March 2025, the president of TMLTCI confirmed the associations intention to execute Council's standard community lease document to enable to the lease renewal to occur.

**Budget / Financial Implications**

Each party is responsible for its own costs in relation to preparation of any agreement under Council's Community Tenure over Council Property Policy.

All costs relating to the registration of a lease (where applicable), or survey plan preparation costs (where required), will be at the lessee's expense. Any costs associated with gaining planning or other approvals shall be the responsibility of the community organisation as tenure holder or applicant.

**Strategic Implications**

*Operational Plan*

Theme: 2. Sustainable and Prosperous Economy

Key Area of Focus: The provision of buildings and facilities that meet current and long-term (20 year) needs of the Scenic Rim community

*Legal / Statutory Implications*

The lease is to be registered in the Queensland Land Registry in accordance with the *Land Title Act 1994*.

**Risks**

Strategic Risks

The following Level 1 and Level 2 (strategic) risks are relevant to the matters considered in this report:

SR43 Inadequate or ineffective planning, delivery and maintenance of infrastructure resulting in risk to public and staff safety and potential financial implications.

Risk Summary

Category	Explanation
Infrastructure, Assets & Service Delivery  Lack of community infrastructure	Land and infrastructure is provided to eligible community organisations enable them to pursue their special interests. Alternatively, if council land and infrastructure is not provided, community activities will be more difficult to establish.

**Human Rights Implications**

No human rights have been impacted by any actions recommended in this report.

**Consultation**

Tamborine Mountain Little Theatre Company Inc (current lessee)  
Council's Facilities Management and Maintenance Teams

## Conclusion

The lease to TMLTCI for premises situated at 22 Main Street, Tamborine Mountain (Lot 1 on RP77682), expires on 30 June 2025.

Council is to consider the issue of a new lease to the TMLTCI under the provisions of section 236(1)(b)(ii) of the *Local Government Regulation 2012*, which allows a valuable non-current asset to be disposed of to a community organisation without the need for a public tender or auction.

## Options

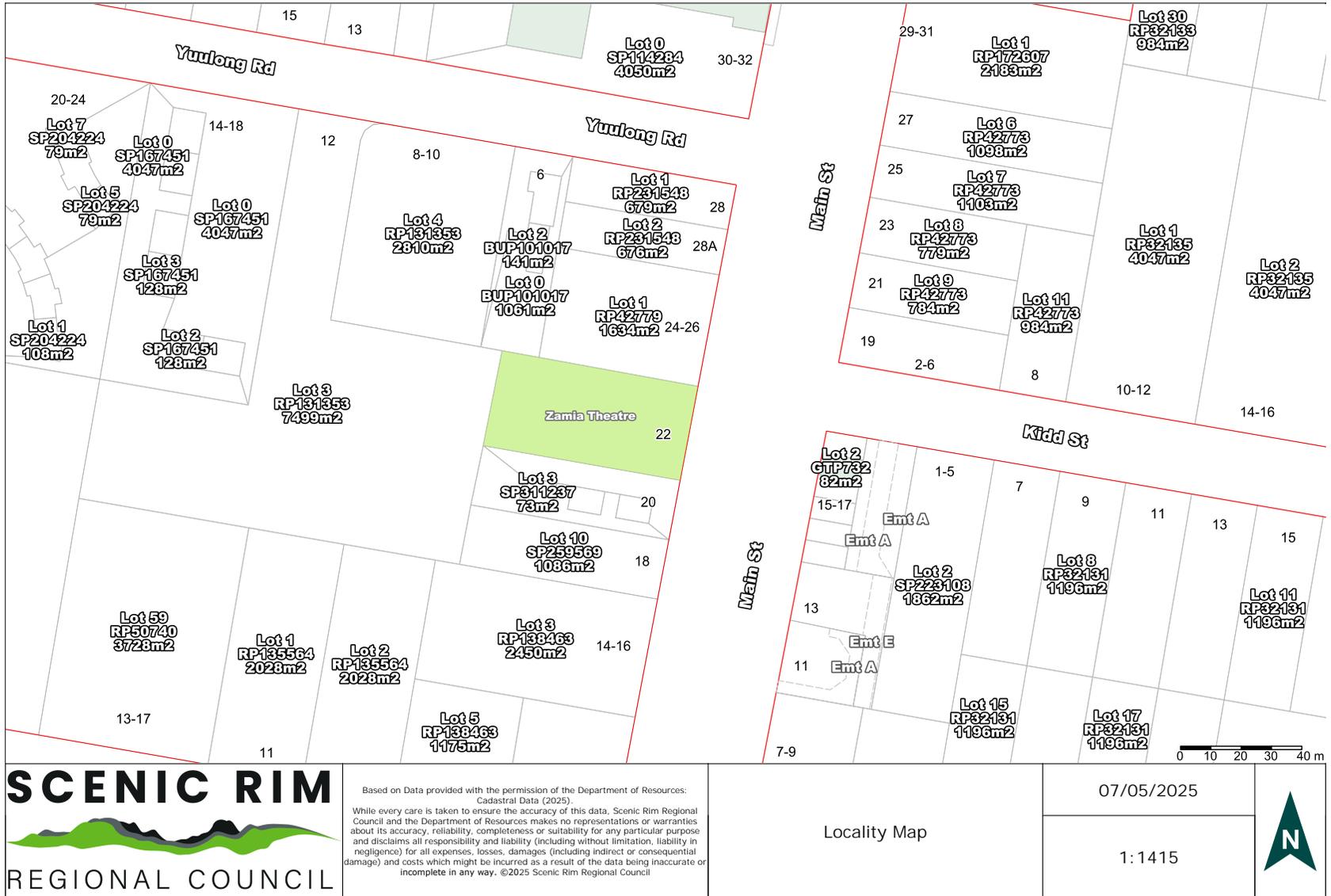
### Option 1

That:

1. Council resolve that the exception under section 236(1)(b)(ii) of the *Local Government Regulation 2012* applies to the proposed grant of lease to Tamborine Mountain Little Theatre Company Inc, for premises situated at 22 Main Street, Tamborine Mountain (Lot 1 on RP77682);
2. Council endorse a five-year freehold lease on standard terms as issued by Council for Tamborine Mountain Little Theatre Company Inc expiring 30 June 2030; and
3. Council delegate authority to the Chief Executive Officer in accordance with section 257(1) of the *Local Government Act 2009* to execute and finalise a lease agreement to Tamborine Mountain Little Theatre Company Inc.

### Option 2

That Council not issue a lease to Tamborine Mountain Little Theatre Company Inc, situated at 22 Main Street, Tamborine Mountain (Lot 1 on RP77682).



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Locality Map

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 1:1415





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Aerial Map

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 1:750





**11.5 Proposed Issue of Lease to Community Organisation - Beechmont District Landcare Association Incorporated**

**Executive Officer:** Manager Coordinator Asset Management /  
Acting General Manager Asset and Environmental Sustainability

**Item Author:** Principal Specialist Property Management /  
Acting Manager Resources and Sustainability

**Attachments:**

1. Locality Map - Beechmont District Landcare Association Inc  
2. Aerial Map - Beechmont District Landcare Association Inc  
3. Lease Plan Lot 2 RP90133  

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**Councillor Portfolio / Representation**

Parks and Biodiversity - Cr Amanda Hay

**Local Government Area Division**

This report relates to Division 3.

**Executive Summary**

The freehold lease to Beechmont District Landcare Association Incorporated expired on 30 June 2022. Council is requested to consider the issue of a new lease agreement to Beechmont District Landcare Association Incorporated at 6 Binna Burra Rd, Beechmont (Lot 2 on RP90133).

Discussions have commenced with the current occupier, in relation to a potential new lease, and in doing so, Council has undertaken an inspection of the site, issued a draft lease to the Association and received eligibility documentation from the association, in accordance with Council's Community Tenure Over Council Property Policy.

**Recommendation**

That:

1. Council resolve that the exception under section 236(1)(b)(ii) of the *Local Government Regulation 2012* applies to the proposed grant of lease to Beechmont District Landcare Association Incorporated, for premises situated at Lot 2 on RP90133, situated at 6 Binna Burra Road, Beechmont;
2. Council endorse a five-year lease on standard terms as issued by Council for Beechmont District Landcare Association Incorporated expiring 30 June 2030; and
3. Council delegate authority to the Chief Executive Officer in accordance with section 275(1) of the *Local Government Act 2009* to execute and finalise a lease agreement to Beechmont District Landcare Association Incorporated.

**Previous Council Considerations / Resolutions**

At the Corporate and Community Services Committee Meeting held on 12 June 2017 (Item 4.1), the Committee recommended that Council grant a five year lease to Beechmont District Landcare Association Inc over Lot 2 on RP90133 with a commencement date of 1 July 2017 and expiring on 30 June 2022. This recommendation was adopted by Council at the Ordinary Meeting held on 26 June 2017.

**Report / Background**

Beechmont District Landcare Association Incorporated currently occupy the whole of the land at 6 Binna Burra Road, Beechmont (Lot 2 on RP90133). A shed has been built on the site.

The Beechmont District Landcare Association (BDLA) held its inaugural meeting in 1992. Since that time, the BDLA has undertaken many projects to improve the environment of the plateau. The organisation's purpose and vision is to work to improve the environment of the Beechmont district through education and projects, in partnership with the community, government agencies and private landholders.

Prior to BDLA occupying the site, the shed was previously leased to the Department of Community Safety from 1982 to 2007, and utilised by the Beechmont Rural Fire Brigade as a base station. The Department of Community Safety in 2007 advised the site was no longer required, with the rural fire brigade relocating to other Council land. At the time, discussions with the group had identified that the shed has been used informally for storage purposes in recent years, and it was considered advantageous by both parties to formalise this agreement.

During the term of the agreement, BDLA utilise the shed as a storage facility. As at 2025, the BDLA has approximately active 46 members and occasionally host sausage sizzles at the shed to encourage community involvement.

Beechmont District Landcare Association Incorporated have provided the necessary eligibility documents, for council to consider the issue of a lease arrangement. Council officers have reviewed the documentation provided, and confirmed the associations eligibility, including:

- Evidence of not-for-profit status;
- Confirmation of executive committee members, positions held and their addresses;
- Copy of public liability insurance and certificate of currency; and
- Copy of most recent annual report and financial statements.

On 9 April 2025, the Treasurer of Beechmont District Landcare Association Incorporated confirmed the associations intention to execute Council's standard community lease document.

**Budget / Financial Implications**

Each party is responsible for its own costs in relation to preparation of any agreement under Council's Community Tenure over Council Property Policy.

All costs relating to the registration of a lease (where applicable), or survey plan preparation costs (where required), will be at the lessee's expense. Any costs associated with gaining planning or other approvals shall be the responsibility of the community organisation as tenure holder or applicant.

**Strategic Implications**

*Operational Plan*

Theme: 2. Sustainable and Prosperous Economy

Key Area of Focus: The provision of buildings and facilities that meet current and long-term (20 year) needs of the Scenic Rim community

*Legal / Statutory Implications*

The lease is to be registered in the Queensland Land Registry in accordance with the *Land Title Act 1994*.

**Risks**

Strategic Risks

The following Level 1 and Level 2 (strategic) risks are relevant to the matters considered in this report:

SR43 Inadequate or ineffective planning, delivery and maintenance of infrastructure resulting in risk to public and staff safety and potential financial implications.

Risk Summary

<b>Category</b>	<b>Explanation</b>
Infrastructure, Assets & Service Delivery  Lack of community infrastructure	Land and infrastructure is provided to eligible community organisations enable them to pursue their special interests. Alternatively, if council land and infrastructure is not provided, community activities will be more difficult to establish.

**Human Rights Implications**

No human rights have been impacted by any actions recommended in this report.

**Consultation**

Beechmont District Landcare Association Incorporated (current lessee)  
Council's Facilities Management team.

## Conclusion

The lease to Beechmont District Landcare Association Incorporated for premises situated at 6 Binna Burra Road, Beechmont (Lot 2 on RP90133), expired on 30 June 2022. The association has confirmed their intention to execute a new lease agreement under Council's Community Tenure over Council Property Policy.

Council is to consider the issue of a new lease to the Beechmont District Landcare Association Incorporated under the provisions of section 236(1)(b)(ii) of the *Local Government Regulation 2012*, which allows a valuable non-current asset to be disposed of to a community organisation without the need for a public tender or auction.

## Options

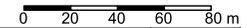
### Option 1

That:

1. Council resolve that the exception under section 236(1)(b)(ii) of the *Local Government Regulation 2012* applies to the proposed grant of lease to Beechmont District Landcare Association Incorporated, for premises situated at Lot 2 on RP190133, situated at 6 Binna Burra Road, Beechmont;
2. Council endorse a five-year lease on standard terms as issued by Council for Beechmont District Landcare Association Incorporated expiring 30 June 2030; and
3. Council delegate authority to the Chief Executive Officer in accordance with section 275(1) of the *Local Government Act 2009* to execute and finalise a lease agreement to Beechmont District Landcare Association Incorporated.

### Option 2

That a lease is not issued to Beechmont District Landcare Association Incorporated, for premises situated at Lot 2 on RP190133, situated at 6 Binna Burra Road, Beechmont.



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Locality Map

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Aerial Map

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 1:566





**11.6 Proposed Issue of Lease to Community Organisation - Boonah & District Cultural Foundation Inc.**

**Executive Officer:** Manager Coordinator Asset Management /  
Acting General Manager Asset and Environmental Sustainability

**Item Author:** Principal Specialist Property Management /  
Acting Manager Resources and Sustainability

**Attachments:**

1. Aerial Map - Boonah & District Cultural Foundation [↓](#) 
2. Lease Area Map [↓](#) 
3. Indicative Lease Area Aerial Map [↓](#) 

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**Councillor Portfolio / Representation**

Community, Arts and Culture - Cr Kerri Cryer

**Local Government Area Division**

This report relates to Division 5.

**Executive Summary**

The freehold lease to Boonah & District Cultural Foundation Inc expired on 30 November 2021. Council is requested to consider the issue of a new lease agreement to Boonah & District Cultural Foundation Inc at Coronation Park, Coronation Drive, Boonah (Lease Area D, Lot 2 on RP153509).

Discussions have commenced with the current lessee, in relation to potential new lease, and in doing so, Council has undertaken an inspection of the site, issued a draft freehold lease to the association and received eligibility documentation from the association, in accordance with Council's Community Tenure Over Council Property Policy.

**Recommendation**

That:

1. Council resolve that the exception under section 236(1)(b)(ii) of the *Local Government Regulation 2012* applies to the proposed grant of lease to Boonah & District Cultural Foundation Inc, for premises situated at lease area 'D', Lot 2 on RP153509, situated at Coronation Park, Coronation Drive, Boonah;
2. Council endorse a five-year lease on standard terms as issued by Council for Boonah & District Cultural Foundation Inc expiring 30 June 2030; and
3. Council delegate authority to the Chief Executive Officer in accordance with section 257(1) of the *Local Government Act 2009* to execute and finalise a lease agreement to Boonah & District Cultural Foundation Inc.

**Previous Council Considerations / Resolutions**

Not applicable.

**Report / Background**

With reference to the lease area map (Attachment 2), Boonah & District Cultural Foundation Inc currently occupy lease area 'D' at Coronation Park, Coronation Drive, Boonah. Lions Club of Boonah Inc occupies lease area 'A', with Rotary Club of Boonah Inc occupying lease area 'C' and Boonah Soccer Club Incorporated occupying lease area 'B'.

Boonah & District Cultural Foundation Inc was originally called the Boonah Arts Collective Inc and officially became incorporated in 2006. The Foundation was created to widen knowledge, understanding and appreciation of artistic, creative and cultural needs and objectives within the community. This includes the development of economic benefits to the district through cultural programs.

Boonah & District Cultural Foundation's previous lease agreement with Council commenced 1 December 2011, for a term of 10 years, expiring 30 November 2021. During the term of the agreement, Boonah & District Cultural Foundation installed a storage shed facility, at their own cost.

In 2025, the Foundation has 102 members. All activities are organised and run by volunteers and bursaries are offered to community members to take part in training or further study, in their chosen creative field.

Boonah & District Cultural Foundation Inc have provided the necessary eligibility documents, for council to consider the issue of a lease arrangement. Council officers have reviewed the documentation provided, and confirmed the associations eligibility, including:

- Evidence of not-for-profit status;
- Confirmation of executive committee members, positions held and their addresses;
- Copy of public liability insurance and certificate of currency; and
- Copy of most recent annual report and financial statements.

On 15 April 2025, the President of Boonah & District Cultural Foundation Inc confirmed the associations intention to execute Council's standard community lease document.

**Budget / Financial Implications**

Each party is responsible for its own costs in relation to preparation of any agreement under Council's Community Tenure over Council Property Policy.

All costs relating to the registration of a lease (where applicable), or survey plan preparation costs (where required), will be at the lessee's expense. Any costs associated with gaining planning or other approvals shall be the responsibility of the community organisation as tenure holder or applicant.

**Strategic Implications***Operational Plan*

Theme: 2. Sustainable and Prosperous Economy

Key Area of Focus: The provision of buildings and facilities that meet current and long-term (20 year) needs of the Scenic Rim community

*Legal / Statutory Implications*

The lease is to be registered in the Queensland Land Registry in accordance with the *Land Title Act 1994*.

**Risks**

Strategic Risks

The following Level 1 and Level 2 (strategic) risks are relevant to the matters considered in this report:

SR43 Inadequate or ineffective planning, delivery and maintenance of infrastructure resulting in risk to public and staff safety and potential financial implications.

Risk Summary

Category	Explanation
Infrastructure, Assets & Service Delivery  Lack of community infrastructure	Land and infrastructure is provided to eligible community organisations enable them to pursue their special interests. Alternatively, if council land and infrastructure is not provided, community activities will be more difficult to establish.

**Human Rights Implications**

No human rights have been impacted by any actions recommended in this report.

**Consultation**

Boonah & District Cultural Foundation Inc (current lessee)  
Council's Facilities Management team.

**Conclusion**

The lease to Boonah & District Cultural Foundation Inc for premises situated at Coronation Park, Coronation Drive, Boonah (Lease Area D, Lot 2 on RP153509), expired on 30 November 2021. The association has confirmed their intention to execute a new lease agreement under Council's Community Tenure over Council Property Policy.

Council is to consider the issue of a new lease to the Boonah & District Cultural Foundation Inc under the provisions of S236(1)(b)(ii) of the *Local Government Regulation 2012*, which allows a valuable non-current asset to be disposed of to a community organisation without the need for a public tender or auction.

**Options**Option 1

That:

1. Council resolve that the exception under section 236(1)(b)(ii) of the *Local Government Regulation 2012* applies to the proposed grant of lease to Boonah & District Cultural Foundation Inc, for premises situated at lease area 'D', Lot 2 on RP153509, situated at Coronation Park, Coronation Drive, Boonah;
2. Council endorse a five-year lease on standard terms as issued by Council for Boonah & District Cultural Foundation Inc expiring 30 June 2030; and
3. Council delegate authority to the Chief Executive Officer in accordance with section 257(1) of the *Local Government Act 2009* to execute and finalise a lease agreement to Boonah & District Cultural Foundation Inc.

Option 2

That Council not issue a lease to Boonah & District Cultural Foundation Inc, for premises situated at lease area 'D', part Lot 2 on RP153509, situated at Coronation Park, Coronation Drive, Boonah.



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Aerial Map

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 1:2000







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Indicative Lease Plan Boundary

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**11.7 Proposed Issue of Lease to Community Organisation - The Beaudesert Cutting and Western Performance Club Inc**

**Executive Officer:** Manager Coordinator Asset Management /  
Acting General Manager Asset and Environmental Sustainability

**Item Author:** Principal Specialist Property Management /  
Acting Manager Resources and Sustainability

**Attachments:**

1. Locality Map - The Beaudesert Cutting and Western Performance Club Inc  
2. Aerial Map - The Beaudesert Cutting and Western Performance Club Inc  
3. Lease Plans  

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**Councillor Portfolio / Representation**

Sport and Recreation - Cr Stephen Moriarty

**Local Government Area Division**

This report relates to Division 4.

**Executive Summary**

The trustee lease to the Beaudesert Cutting and Western Performance Club Inc expired on 24 January 2021. Council is requested to consider the issue of a new lease agreement the Beaudesert Cutting and Western Performance Club Inc situated at 22 Josephville Road, Josephville (Lot 65 on CP816517 and Lot 67 on SP140503).

Discussions have commenced with the current occupier, in relation to a potential new lease, and in doing so, Council has undertaken an inspection of the site, issued a draft lease to the association and received eligibility documentation from the association, in accordance with Council's Community Tenure Over Council Property Policy.

**Recommendation**

That:

1. Council resolve that the exception under section 236(1)(b)(ii) of the *Local Government Regulation 2012* applies to the proposed grant of lease to the Beaudesert Cutting and Western Performance Club Inc, for premises situated at Lot 65 on CP816517 and Lot 67 on SP140503, situated at 22 Josephville Road, Josephville;
2. Council endorse a five-year lease on standard terms as issued by Council for the Beaudesert Cutting and Western Performance Club Inc expiring 30 June 2030; and
3. Council delegate authority to the Chief Executive Officer in accordance with section 275(1) *Local Government Act 2009* to execute and finalise a lease agreement to the Beaudesert Cutting and Western Performance Club Inc.

## Previous Council Considerations / Resolutions

At the Corporate and Community Services Committee meeting held on 16 March 2010 (Item 2.3), the Committee recommended that Council enter into a 10 year lease with the Beaudesert Cutting and Western Performance Club Inc over Lot 65 on CP816517 and Lot 67 on SP140503, Parish Beaudesert situated at 22 Josephville Road and Mt Lindesay Highway, Josephville. This recommendation was adopted by Council at the Ordinary Meeting held on 22 March 2010.

## Report / Background

With reference to the aerial map (Attachment 2), the Beaudesert Cutting and Western Performance Club Inc currently occupy the whole of site at 22 Josephville Road, Josephville (Lot 65 on CP816517 and Lot 67 on SP140503).

The Beaudesert Cutting and Western Performance Club's previous lease agreement with Council commenced 25 January 2011, for a term of 10 years, expiring 24 January 2021.

The Beaudesert Cutting and Western Performance Club Inc became an Incorporated Association in October 1987 and is currently affiliated with the Australian Quarter Horse Association.

In 2025, the Beaudesert Cutting and Western Performance Club Inc, has 144 adult members and 45 junior members, and host 16 official club days a year, including 10 additional training weekends. The club hosts large events which attracts competitors and spectators from all over Australia. The club prides itself on creating a positive atmosphere for everyone involved, welcoming members of all ages and abilities,

During the term of the lease, the Beaudesert Cutting and Western Performance Club have undertaken improvements to the lease area through donations to the club from the Estate of Sue West and successful grant applications. The improvements to date include the following:

- Arena;
- Office demountable;
- Canteen demountable;
- Three toilet demountables;
- Four portable shelters;
- Three open air sand areas;
- Watering facilities; and
- Solar panels.

The facility has been managed appropriately by the club under the terms of the previous agreement.

The Beaudesert Cutting and Western Performance Club Inc have provided the necessary eligibility documents, for Council to consider the issue of a lease arrangement. Council officers have reviewed the documentation provided, and confirmed the associations eligibility, including:

- Evidence of not-for-profit status;
- Confirmation of executive committee members, positions held and their addresses;
- Copy of public liability insurance and certificate of currency; and
- Copy of most recent annual report and financial statements.

On 16 April 2025, the president of the Beaudesert Cutting and Western Performance Club Inc confirmed the associations intention to execute Council's standard community lease document.

The proposed lease area is reserve land (Council as trustee) with a gazetted purpose under the Land Act 1994 'taken to be' for Parks and Recreational Purposes. The current and proposed uses under the terms of the lease are in keeping with the purpose of the reserve and a Land Management Plan is not required.

**Budget / Financial Implications**

Each party is responsible for its own costs in relation to preparation of any agreement under Council's Community Tenure over Council Property Policy.

All costs relating to the registration of a lease (where applicable), or survey plan preparation costs (where required), will be at the lessee's expense. Any costs associated with gaining planning or other approvals shall be the responsibility of the community organisation as tenure holder or applicant.

**Strategic Implications**

*Operational Plan*

Theme: 2. Sustainable and Prosperous Economy

Key Area of Focus: The provision of buildings and facilities that meet current and long-term (20 year) needs of the Scenic Rim community

*Legal / Statutory Implications*

The lease is to be registered in the Queensland Land Registry in accordance with the *Land Title Act 1994*.

**Risks**

Strategic Risks

The following Level 1 and Level 2 (strategic) risks are relevant to the matters considered in this report:

SR43 Inadequate or ineffective planning, delivery and maintenance of infrastructure resulting in risk to public and staff safety and potential financial implications.

Risk Summary

Category	Explanation
Infrastructure, Assets & Service Delivery  Lack of community infrastructure	Land and infrastructure is provided to eligible community organisations enable them to pursue their special interests. Alternatively, if council land and infrastructure is not provided, community activities will be more difficult to establish.

**Human Rights Implications**

No human rights have been impacted by any actions recommended in this report.

**Consultation**

The Beaudesert Cutting and Western Performance Club Inc (current lessee)  
Council's Facilities Management team.

**Conclusion**

The current occupation agreement to the Beaudesert Cutting and Western Performance Club Inc for premises situated at 22 Josephville Road, Josephville (Lot 65 on CP816517 and Lot 67 on SP140503), expired on 24 January 2021. The association has confirmed their intention to execute a new lease agreement under Council's Community Tenure over Council Property Policy.

Council is to consider the issue of a new lease to the Beaudesert Cutting and Western Performance Club Inc under the provisions of section 236(1)(b)(ii) of the *Local Government Regulation 2012*, which allows a valuable non-current asset to be disposed of to a community organisation without the need for a public tender or auction.

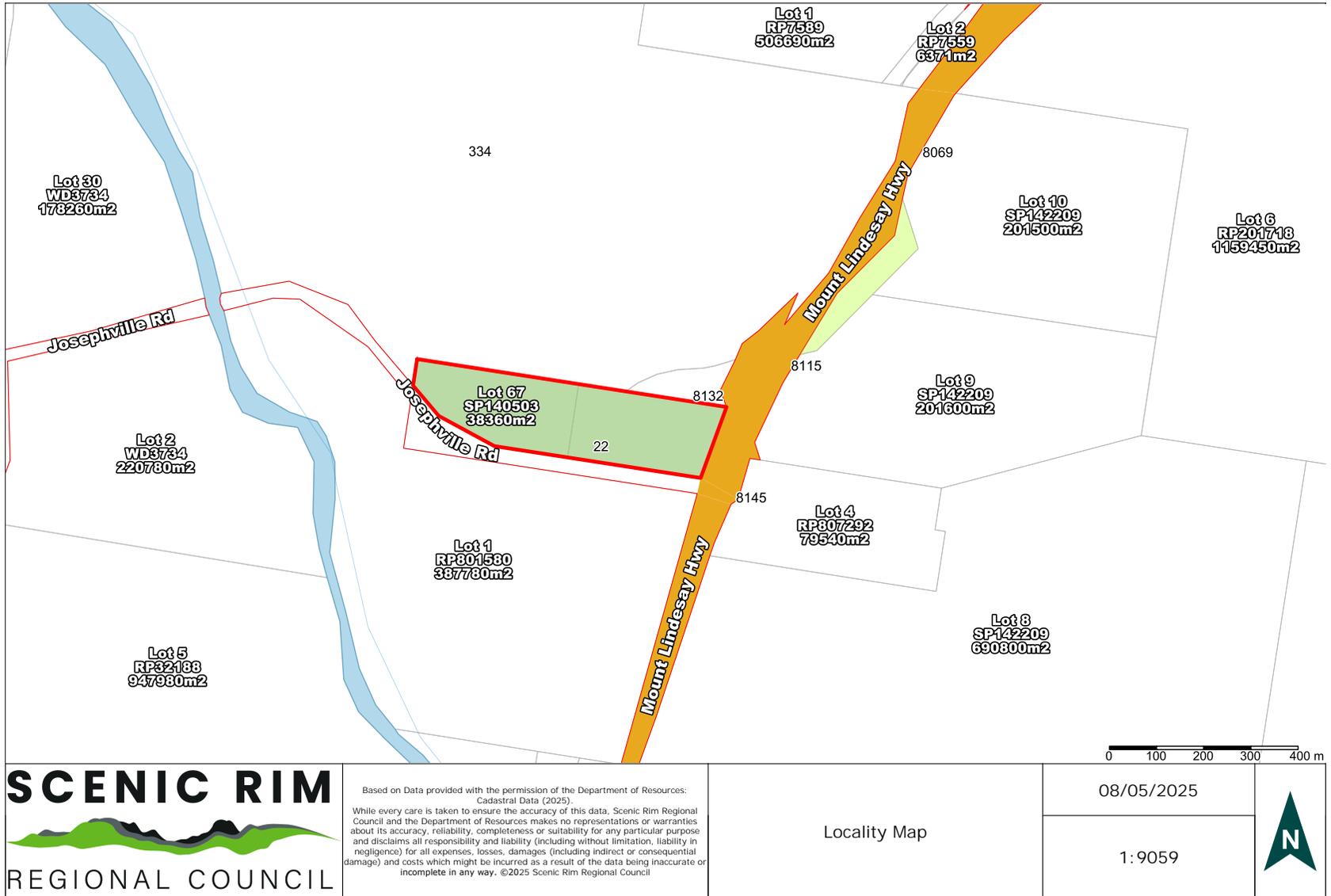
**Options**Option 1

That:

1. Council resolve that the exception under section 236(1)(b)(ii) of the Local Government Regulation 2012 applies to the proposed grant of lease to the Beaudesert Cutting and Western Performance Club Inc, for premises situated at 22 Josephville Road, Josephville (Lot 65 on CP816517 and Lot 67 on SP140503);
2. Council endorse a five-year lease on standard terms as issued by Council for the Beaudesert Cutting and Western Performance Club Inc expiring 30 June 2030; and
3. Council delegate authority to the Chief Executive Officer in accordance with section 275(1) of the *Local Government Act 2009* to execute and finalise a lease agreement to the Beaudesert Cutting and Western Performance Club Inc.

Option 2

That a lease is not issued to the Beaudesert Cutting and Western Performance Club Inc, for premises situated at situated at 22 Josephville Road, Josephville (Lot 65 on CP816517 and Lot 67 on SP140503).

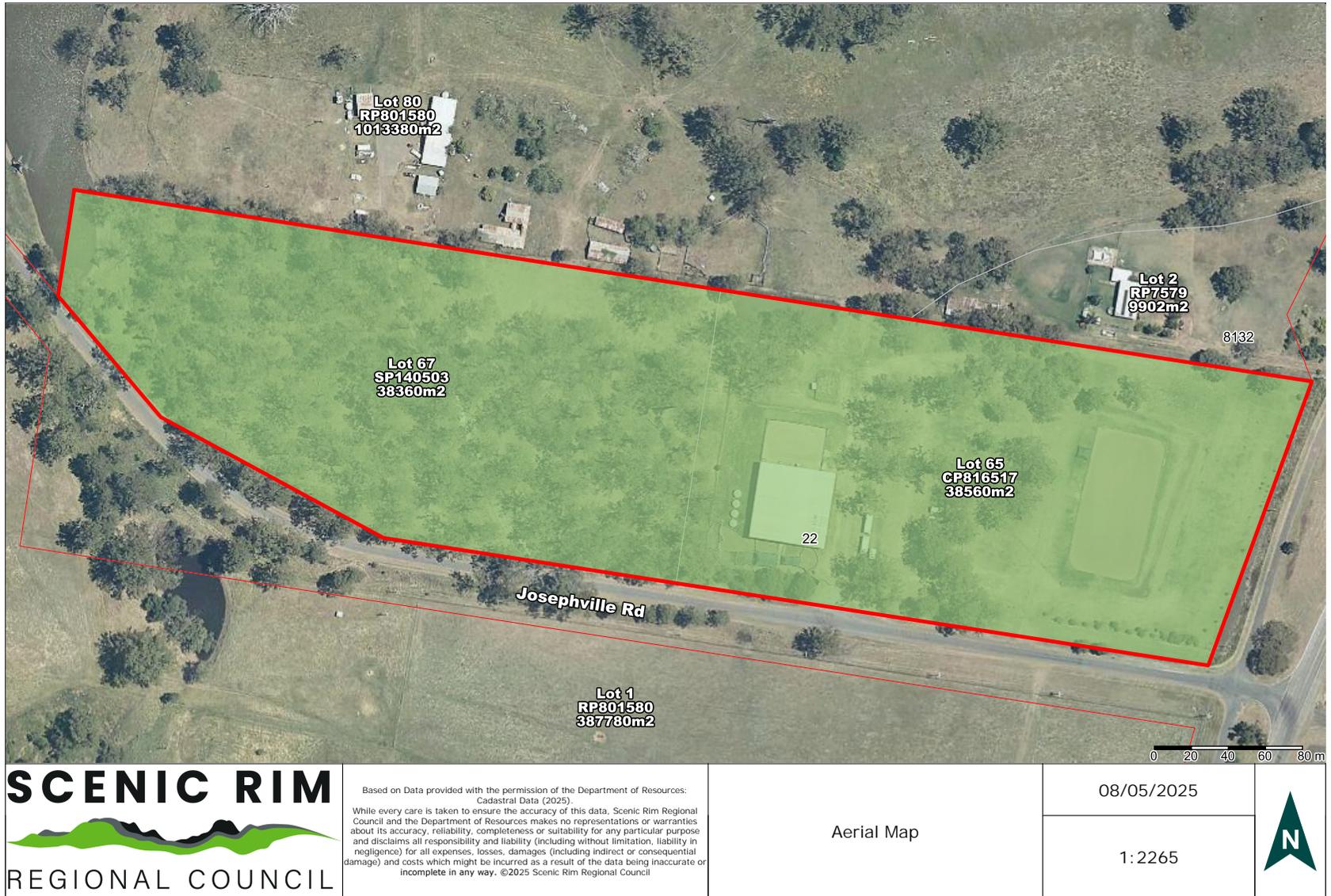


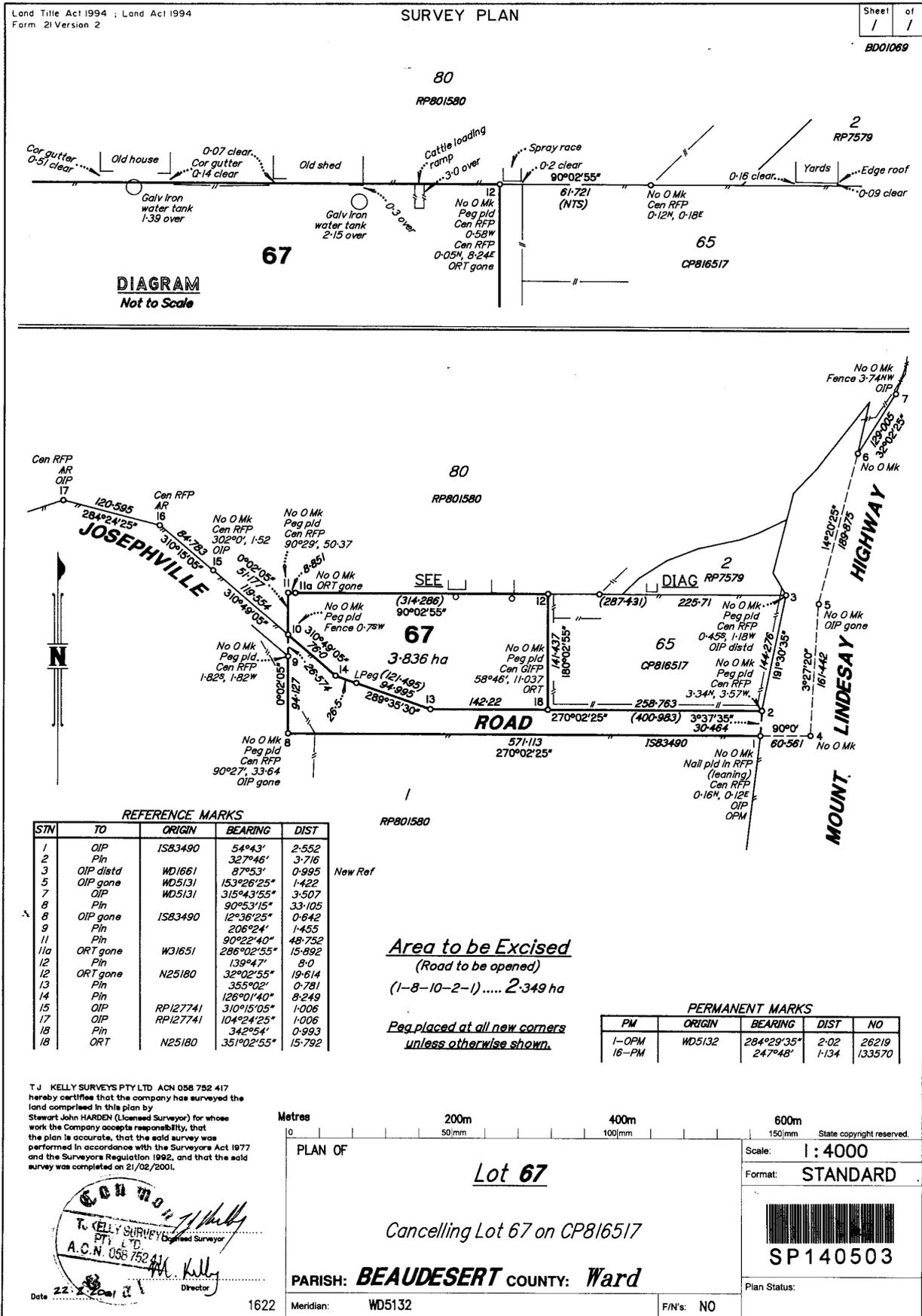
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Locality Map

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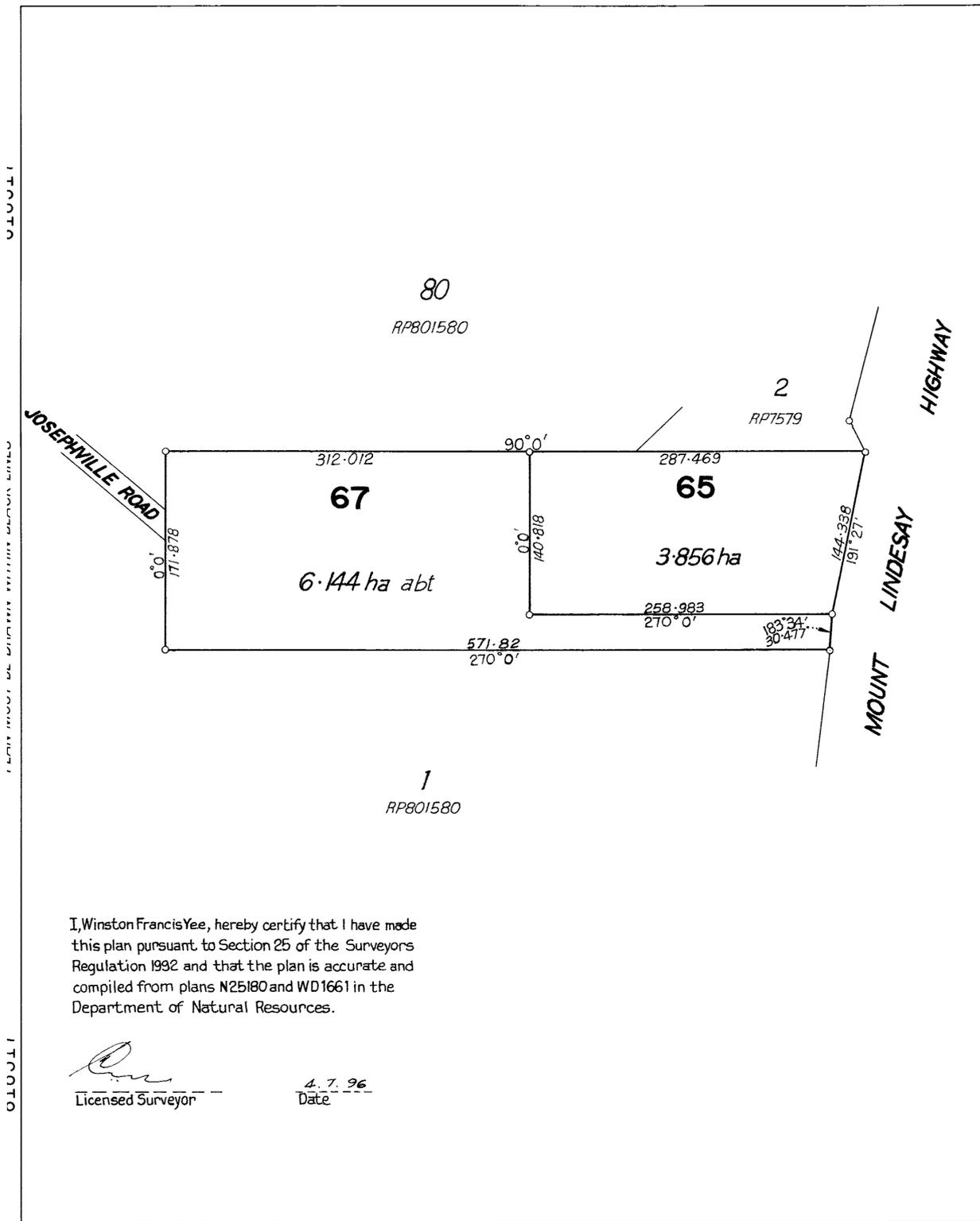






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WARNING — PLAN MAY BE ROLLED — A FOLDED OR MUTILATED PLAN WILL NOT BE ACCEPTED



816517

PLAN MUST BE DRAWN WITHIN BLACK LINES

816517

I, Winston Francis Yee, hereby certify that I have made this plan pursuant to Section 25 of the Surveyors Regulation 1992 and that the plan is accurate and compiled from plans N25180 and WD1661 in the Department of Natural Resources.

*[Signature]*  
 Licensed Surveyor

4.7.96  
 Date

hereby certify that the Company have surveyed the land comprised in this plan (either personally or by for whose work (the Company accept responsibility), that the plan is accurate, that the said survey was performed in accordance with the Surveyors Act and the Surveyors Regulations and that the said survey was completed on _____ Licensed Surveyor/ Director _____ Director Date	<b>PLAN OF Lots 65 &amp; 67</b> Cancelling Lots 65 & 67 on N25180				PARISH <b>BEAUDESERT</b> COUNTY <b>WARD</b> TOWN/LOCALITY <b>Beaudesert S.C.</b> LAND AGENTS/MINING DISTRICT	
	<b>ORIGINAL PORS 65 &amp; 67</b>		SURVEY RECORDS DEPOSITED		MINING FIELD	
MERIDIAN N25180	MAP REF 9441-1142	SCALE 1:3000	FILE REF Res 74-3 Res 82-16	ENDORSED 100 5.7.96	REGISTERING DIST METROPOLITAN	CROWN PLAN 816517

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WARNING — PLAN MAY BE ROLLED — A FOLDED OR MUTILATED PLAN WILL NOT BE ACCEPTED

<p>Council of the _____ of _____ certifies that all the requirements of this Council, the Local Government Acts and all By-Laws have been complied with and approves this Plan of Subdivision</p> <p style="text-align: right;">Dated this _____ day of _____ 19____ Mayor or Chairman Town or Shire Clerk</p>	<p>Previous Title</p> <div style="border: 1px solid black; height: 100px; width: 100%;"></div>																																																																																										
<p>I/We _____ (Names in full)</p> <ul style="list-style-type: none"> <li>• as Proprietor/s of this land.</li> <li>• as Lessee/s of Miner's Homestead</li> </ul> <p>agree to this plan and dedicate the new road as shown hereon to public use.</p> <p>Signature of • Proprietor/s • Lessee/s</p> <ul style="list-style-type: none"> <li>• Rule out which is inapplicable.</li> </ul>	<p>This survey has been examined and may be used for land dealings.</p> <p style="text-align: right;">_____ Surveyor General</p> <p style="text-align: right;">Date</p> <table border="1" style="width: 100%; border-collapse: collapse; text-align: center;"> <thead> <tr> <th>Lot</th><th>Vol.</th><th>Fol.</th><th>Lot</th><th>Vol.</th><th>Fol.</th><th>Lot</th><th>Vol.</th><th>Fol.</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	Lot	Vol.	Fol.	Lot	Vol.	Fol.	Lot	Vol.	Fol.																																																																																	
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**11.8 Proposed Issue of Lease to Community Organisation -  
The Queensland Country Women's Association (Beaudesert)**

**Executive Officer:** Manager Coordinator Asset Management /  
Acting General Manager Asset and Environmental Sustainability

**Item Author:** Principal Specialist Property Management /  
Acting Manager Resources and Sustainability

**Attachments:**

1. Aerial Map showing CWA Location & Indicative Lease Area [↓](#) 
2. Indicative Lease Footprint [↓](#) 
3. Proposed SP326203 [↓](#) 

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**Councillor Portfolio / Representation**

Community, Arts and Culture - Cr Kerri Cryer

**Local Government Area Division**

This report relates to Division 4.

**Executive Summary**

The Queensland Country Women's Association (CWA) building was previously situated at 86 Brisbane Street, Beaudesert with no formal agreement in place. Council relocated the CWA building and undertook major renovation works in 2024 to Selwyn Street West, Beaudesert. Council is requested to consider the issue of a new sub-sub-sub lease agreement to Queensland Country Women's situated at Selwyn Street West, Beaudesert (part of Lot 32 on SP326203 -or similar- to be registered).

Discussions have commenced with the Queensland Country Women's Association, in relation to a potential new lease, and in doing so, council has undertaken an inspection of the site, issued a draft lease to the association and received eligibility documentation from the association, in accordance with Council's Community Tenure Over Council Property Policy.

**Recommendation**

That:

1. Council resolve that the exception under section 236(1)(b)(ii) of the *Local Government Regulation 2012* applies to the proposed grant of sub-sub-sub lease to Queensland Country Women's Association, for premises situated at part Lot 32 on SP326203 (to be registered), situated at Selwyn Street West, Beaudesert;
2. Council endorse a five-year lease on standard terms as issued by Council for Queensland Country Women's Association expiring 30 June 2030; and
3. Council delegate authority to the Chief Executive Officer in accordance with section 257(1) of the *Local Government Act 2009* to execute and finalise a lease agreement to Queensland Country Women's Association.

**Previous Council Considerations / Resolutions**

Not applicable.

**Report / Background**

With reference to the attached aerial map (Attachment 1), Queensland Country Women's Association currently occupy part of proposed Lot 32 on SP326203, situated at Selwyn Street, Beaudesert. The site is under a 'Lands Lease' tenure, with the owner being the State of Queensland, with a sub-lease to the Department of Transport and Main Roads, and a sub-sub lease to Council. The site is a former railway line and station, with the former Stationmaster House and Railway building in also situated in close proximity.

Permission has been granted by Department of Transport and Main Roads for Council to issue a sub-sub-sub lease to the Queensland Country Women's Association, for their occupation of part of proposed Lot 32 on SP326203.

The Beaudesert branch of the Queensland Country Women's Association was formed in 1927. They previously occupied CWA Rest Rooms in the vicinity of Beaudesert Hotel, before it burned down in 1946.

The current CWA Hall was (until 2024) situated next to the Council chambers on Brisbane Street, before being relocated to its current position at Selwyn Street West, as part of Council's Beaudesert Town Centre Revitalisation Project.

The relocated hall received a new facade and front verandah, new patio, kitchen and toilet facilities at the rear, and improved parking access. The building renovation was finished late 2024, with the Association taking occupancy of the facility in December 2024. The official reopening of the facility was held on 10 February 2025, with membership currently standing at 29 members.

The group supports many local groups, including sending International Birthing Kits to Papua New Guinea and Christmas boxes to Australian military serving overseas. The Association welcomes women of all ages, and offers the opportunity for members to help the community, make friends, share knowledge and skills and be part of a legacy.

Queensland Country Women's Association have provided the necessary eligibility documents for Council to consider a potential new lease arrangement. Council officers have reviewed the documentation provided, and confirmed the associations eligibility, including:

- Evidence of not-for-profit status;
- Confirmation of executive committee members, positions held and their addresses;
- Copy of Public Liability Insurance Certificate of Currency;
- Copy of building insurance policies; and
- Copy of most recent annual report and financial statements.

On 8 April 2025, the State Secretary of Queensland Country Women's Association confirmed the Association's intention to execute Council's standard community lease document.

**Budget / Financial Implications**

Each party is responsible for its own costs in relation to preparation of any agreement under Council's Community Tenure over Council Property Policy.

All costs relating to the registration of a lease (where applicable), or survey plan preparation costs (where required), will be at the lessee's expense. Any costs associated with gaining planning or other approvals shall be the responsibility of the community organisation as tenure holder or applicant.

**Strategic Implications**

*Operational Plan*

Theme: 2. Sustainable and Prosperous Economy

Key Area of Focus: The provision of buildings and facilities that meet current and long-term (20 year) needs of the Scenic Rim community

*Legal / Statutory Implications*

The lease is to be registered in the Queensland Land Registry in accordance with the *Land Title Act 1994*.

**Risks**

Strategic Risks

The following Level 1 and Level 2 (strategic) risks are relevant to the matters considered in this report:

SR43 Inadequate or ineffective planning, delivery and maintenance of infrastructure resulting in risk to public and staff safety and potential financial implications.

Risk Summary

Category	Explanation
Infrastructure, Assets & Service Delivery  Lack of infrastructure  community	Land and infrastructure is provided to eligible community organisations enable them to pursue their special interests. Alternatively, if council land and infrastructure is not provided, community activities will be more difficult to establish.

**Human Rights Implications**

No human rights have been impacted by any actions recommended in this report.

**Consultation**

Queensland Country Women's Association (current lessee)  
 Council's Facilities Management and Capital Works Asset Management teams

**Conclusion**

The Queensland Country Women's Association building was previously situated at 86 Brisbane Street, Beaudesert with no formal occupation agreement between Council and the Association in place. Council relocated the CWA building and undertook major renovation works in 2024 to Selwyn Street, Beaudesert. The association has confirmed their intention to execute a new lease agreement under Council's Community Tenure over Council Property Policy.

Council is to consider the issue of a new sub-sub-sub lease to the Queensland Country Women's Association under the provisions of section 236(1)(b)(ii) of the *Local Government Regulation 2012*, which allows a valuable non-current asset to be disposed of to a community organisation without the need for a public tender or auction.

**Options**Option 1

That:

1. Council resolve that the exception under section 236(1)(b)(ii) of the *Local Government Regulation 2012* applies to the proposed grant of sub-sub-sub lease to Queensland Country Women's Association, for premises situated at part Lot 32 on SP326203 (to be registered), situated at Selwyn Street West, Beaudesert;
2. Council endorse a five-year lease on standard terms as issued by Council for Queensland Country Women's Association expiring 30 June 2030; and
3. Council delegate authority to the Chief Executive Officer in accordance with section 257(1) of the *Local Government Act 2009* to execute and finalise a lease agreement to Queensland Country Women's Association.

Option 2

That Council not issue a lease to Queensland Country Women's Association, for premises situated at Selwyn Street, Beaudesert.

# Proposed Lease Boundary (Indicative) - outlined in red

## Country Womens Association - Beaudesert

27°59'1"S 152°59'39"E

27°59'1"S 152°59'46"E



27°59'7"S 152°59'39"E

27°59'7"S 152°59'46"E

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 **Queensland Globe**

Legend located on next page



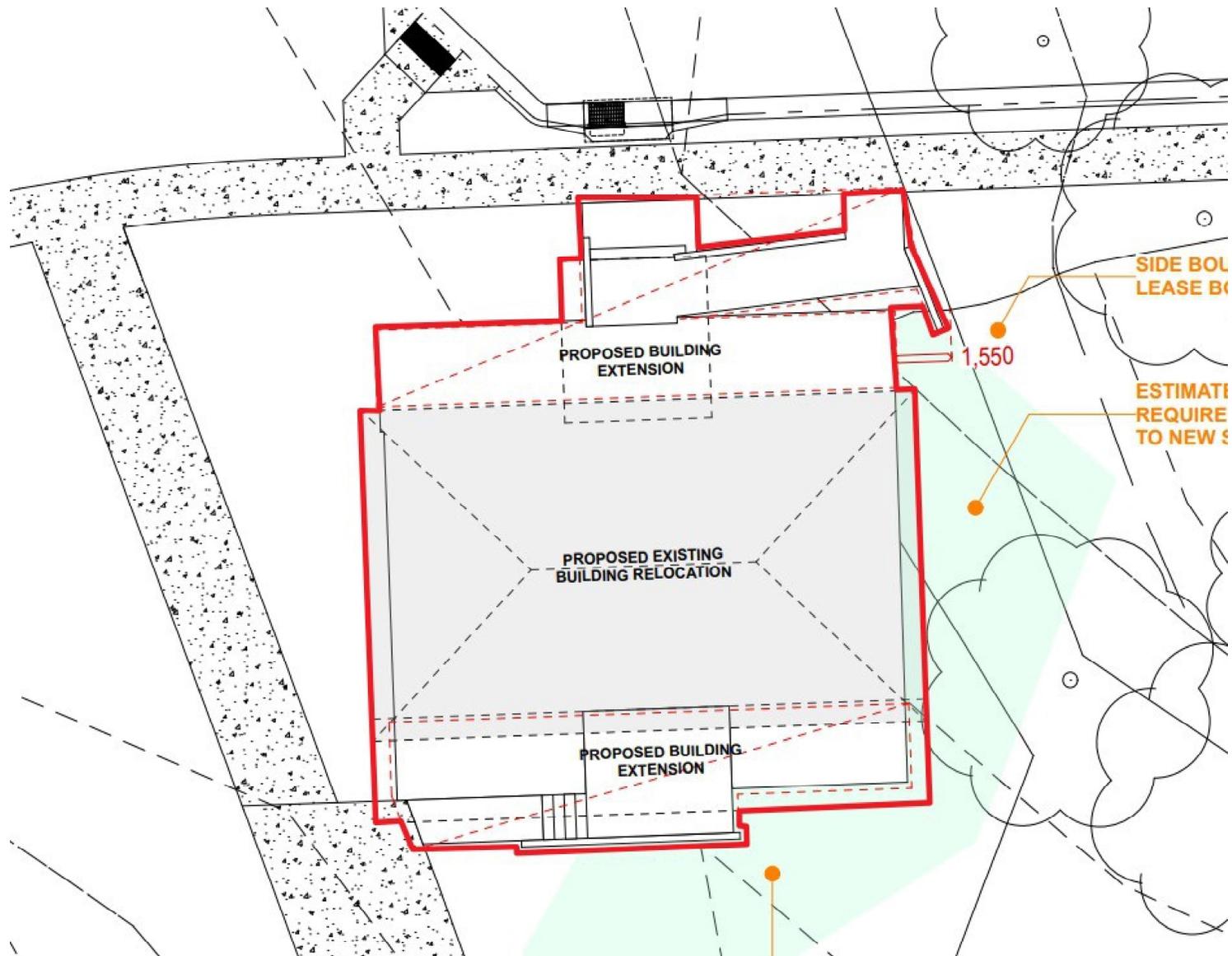
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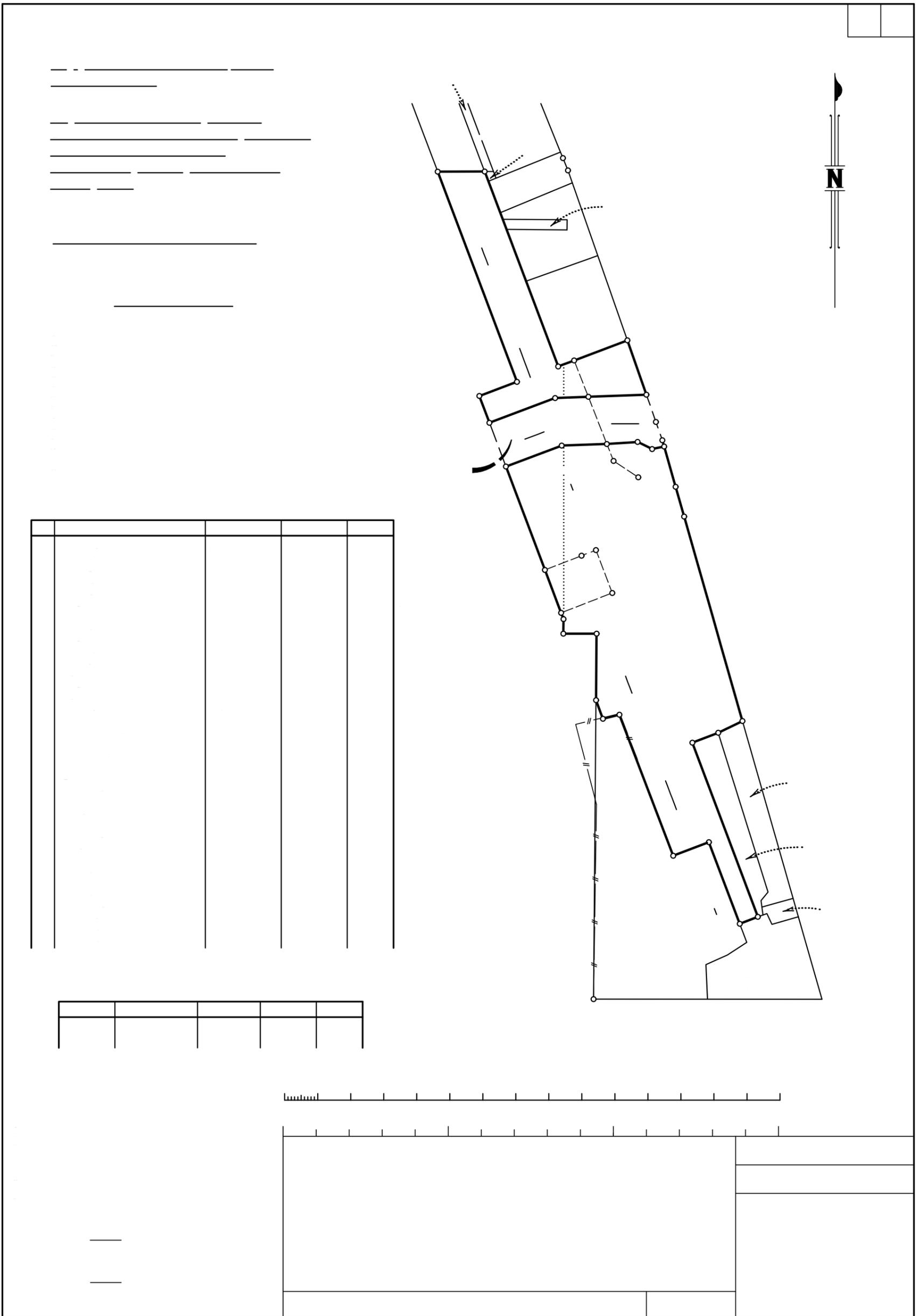
Printed at: A4  
 Print date: 22/5/2025  
 Not suitable for accurate measurement.  
 Projection: Web Mercator EPSG 102100 (3857)  
 For more information, visit  
<https://qldglobe.information.qld.gov.au/help-info/Contact-us.html>

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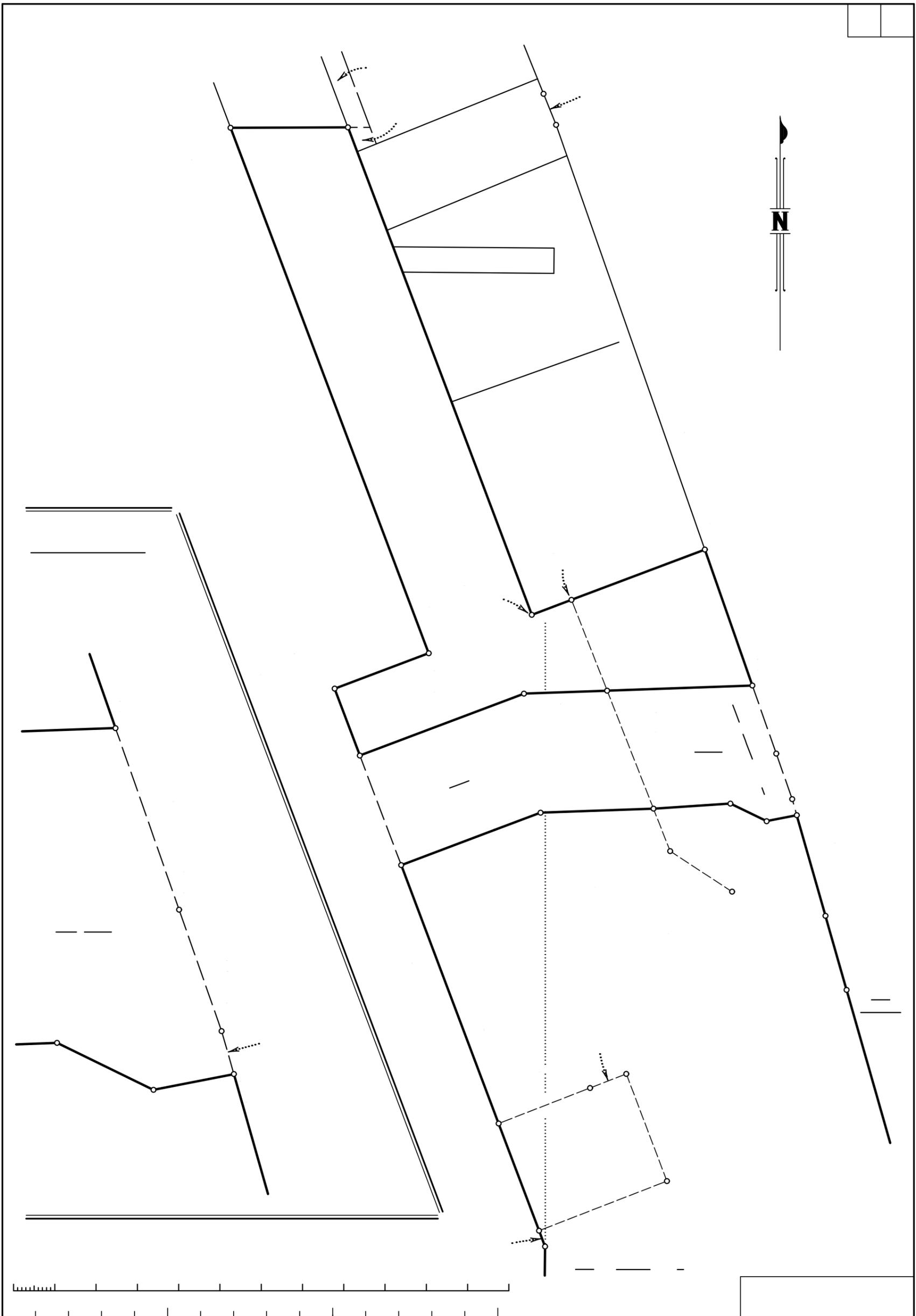
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 **Queensland Government**  
 Department of Natural Resources and Mines,  
 Manufacturing, and Regional and Rural Development











## Council Sustainability

### 11.9 Delegations Register Update - Council to Chief Executive Officer

**Executive Officer:** Acting General Manager Council Sustainability

**Item Author:** Principal Specialist Governance and Assurance

**Attachments:**

1. Delegations Register - Schedule 3 Conditions  
2. Delegations Register (tracked changes version) (under separate cover) 

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### Councillor Portfolio

Not applicable.

### Local Government Area Division

This report relates to the whole Scenic Rim region.

### Executive Summary

Council is required to conduct an annual review of delegations granted from Council to the Chief Executive Officer (CEO). The Delegations Register has been amended to capture recent legislative amendments and is provided to Council for consideration and adoption.

### Recommendation

That:

1. Council delegate the powers nominated in the attached Delegations Register to the Chief Executive Officer in accordance with section 257(1)(b) of the *Local Government Act 2009*; and
2. Council include a condition for the delegation under section 240(1) of the *Local Government Act 2009* for legal proceedings involving the Planning and Environment Court, the Chief Executive Officer can only subdelegate that authority to the General Manager Regional Development Health and Biodiversity.

### Previous Council Considerations / Resolutions

Council last reviewed and approved the Council to Chief Executive Officer delegations at the Ordinary Meeting held on 22 November 2023.

## Report / Background

Under section 257 of the *Local Government Act 2009* (LGA), Council can, by resolution, delegate power under the LGA to the Mayor, the CEO, a committee or a committee Chairperson. Delegations made to the CEO must be reviewed annually by Council. Council last reviewed and approved the delegation of powers to the CEO at the Ordinary Meeting held on 22 November 2023.

The annual review of Council to CEO delegations aims to ensure that the delegation remains consistent with Council's policy direction and intent. Governance has reviewed the delegations based on the draft delegations provided to the Local Government Association of Queensland (LGAQ) by the law firm King and Company. King and Company released the latest draft delegations as of 1 February 2025. The latest draft delegations have now been incorporated in the Council to CEO delegations register and are ready for approval.

### Conditions

In delegating to the CEO, Council can limit the authority by imposing conditions on how the power is to be exercised. The conditions connected to the exercise of powers that Council thought necessary in the 2020 review have been replicated in the attached Delegations Register.

### Chief Executive Officer Sub-Delegations

Powers delegated by Council to a Chief Executive Officer can be sub-delegated to an appropriately qualified local government employee, however, CEOs cannot subdelegate the following:

- the power to keep a register of interests for Councillors and senior Executive employees; or
- the power to sub-delegate if the local government has directed the CEO not to delegate the power further.

The sub-delegation by the CEO occurs because the organisation cannot function efficiently if the decision-making power vests in one officer due to inefficiencies and delays in decision-making processes.

### King and Co Delegations Register

Council subscribes to the LGAQ's delegation service. The LGAQ has, with the assistance of King and Company Solicitors, developed a comprehensive register of delegations. The register was established following a thorough review of all State legislation relevant to Local Government. This Delegations Register covers all possible delegations from Council to CEO.

## Budget / Financial Implications

No direct budgetary implications have been identified. The LGAQ has provided its Delegations Service with expert legal advice as a free facility to its members.

## Strategic Implications

### *Operational Plan*

Theme: 3. Open and Responsive Government

Key Area of Focus: Ongoing integrity of Council's practice and processes

*Legal / Statutory Implications*

The power to issue delegations can be found in the authorising legislation.

- The *Local Government Act 2009* (for Council powers, section 257, noting there are specific powers which may not be delegated; for the Mayor section 258; and for the CEO section 259); and
- The *Acts Interpretation Act 1954* (section 27A).

Council is required to keep a register of delegations under section 260.

**Risks**

Strategic Risks

The following Level 1 and Level 2 (strategic) risks are relevant to the matters considered in this report:

SR46 Inadequate or lack of Governance (including procurement) Framework (systems, policies, procedures, delegations and controls) in place to ensure compliance by Council's Councillors and Officers with all relevant State and Federal legislation and regulations.

Risk Summary

<b>Category</b>	<b>Explanation</b>
Governance, Risk & Compliance  Council failing to make a decision in accordance with statutory timeframes or otherwise inefficiently due to a delegation being retained by Council.	Ongoing reviews by Governance of the Delegations Register service combined with active reviews of the recommended delegations and appropriate delegation requests being made to Council as the need arises. Failure to review these annually is in breach of legislation.
Governance, Risk & Compliance  Council staff acting inappropriately or failing to act appropriately due to out of date delegations register.	Ensuring that Council's Delegations Register remains up to date, is easily accessible by staff and amendments to the register are publicised to staff members.

**Human Rights Implications**

No human rights have been impacted by any actions recommended in this report.

**Consultation**

The LGAQ Delegations Register forms the foundation for the attached proposed amendments to the Delegations Register. Councillors have been consulted regarding any suggested changes to the Council to CEO delegations.

**Conclusion**

This report provides the reviewed Delegations Register for Councillors to consider. It provides the reasons for the process of delegating powers and outlines the ability of Councillors to impose conditions on the exercise of the delegated powers. A Delegations Register is prepared and updated by King and Company and is provided to Council via the subscription service of the LGAQ. Council's Delegations Register is consistent with that register.

**Options**Option 1

That:

1. Council delegate the powers nominated in the attached Delegations Register to the Chief Executive Officer in accordance with section 257(1)(b) of the *Local Government Act 2009*; and
2. Council include a condition for the delegation under section 240(1) of the *Local Government Act 2009* for legal proceedings involving the Planning and Environment Court, the Chief Executive Officer can only subdelegate that authority to the General Manager Regional Development Health and Biodiversity.

Option 2

That Council decide further work is needed on the Delegations Register prior to considering the Register for adoption.

**SCHEDULE 3: Conditions – Planning Act 2016 and Sustainable Planning Act 2009**

**1. APPLICATION OF DELEGATED POWERS AND ASSOCIATED LIMITATIONS FOR PLANNING ACT 2016**

The position-specific limitations specified in Table 1A below also apply when exercising delegated powers to act as:

- the “assessment manager” for all applications received by Council under Chapter 3 of the *Planning Act 2016* (including the power to take all actions of an assessment manager as detailed in sections 48, 51, 53, 54, 59, 60, 61, 62, 63, 64, 65, 67, 71, 76, 84, 85, 86, 87, 93, 100, 101, 105, 107 and 109 of the *Planning Act 2016*); and
- a “referral agency”, “concurrence agency” or “advice agency” for all applications referred to Council under Chapter 3 of the *Planning Act 2016*. For avoidance of doubt, the power delegated includes (without limitation) the power to take all actions of a “referral agency” or a “concurrence agency” or an “advice agency” as detailed in sections 54, 55, 56, 57, 65, 66, 67, 84, 85, 100, 107 and 109 of the *Planning Act 2016*.

**TABLE 1A**

<b>Position</b>	<b>Additional Conditions/Limitations</b>
Principal Specialist Development Assessment and Engineering Senior Development Assessment Planner - Major Developments Development Engineer Coordinator Development Engineering Senior Technical Officer Senior Development Assessment Planner Development Assessment Planner	<ol style="list-style-type: none"> <li>1. Delegations are not to be exercised in relation to the assessment, approval or regulation of “building works” or delegated or devolved “environmentally relevant activities” pursuant to the <i>Environmental Protection Act 1994</i>.</li> <li>2. The delegate is not delegated the power to decide all or part of an application, approve all or part of an application subject to conditions or otherwise or to refuse an application by issuing a “decision notice”.</li> <li>3. The delegate is not delegated the power to decide a proposal to extend an approval.</li> </ol>
Principal Specialist Strategic Planning	<ol style="list-style-type: none"> <li>1. Delegations are not to be exercised in relation to the assessment, approval or regulation of building works or delegated or devolved environmentally relevant activities pursuant to the <i>Environmental Protection Act 1994</i>.</li> <li>2. The delegate is not delegated the power to decide all or part of an application, approve all or part of an application subject to conditions or otherwise or to refuse an application by issuing a “decision notice”.</li> <li>3. The delegate is not delegated the power to decide a proposal to extend an approval.</li> </ol>
Principal Specialist Regulatory Services	<ol style="list-style-type: none"> <li>1. Delegations for dealing with development applications restricted to the functions and powers conferred to Council in its role as the assessing authority for “building works” as administered and exercised through the <i>Planning Act 2016</i>.</li> <li>2. Approvals can only be made to the level provided for in this delegation and in accordance with the position holder’s current professionally recognised accreditation and licensing.</li> </ol>

Building Certifier/Contract Building Certifier (SBO)	<ol style="list-style-type: none"> <li>1. Delegations for dealing with development applications restricted to the functions and powers conferred to Council in its role as the assessing authority for “building works” as administered and exercised through the <i>Planning Act 2016</i>.</li> <li>2. Approvals can only be made to the level provided for in this delegation and in accordance with the position holder’s current professionally recognised accreditation and licensing.</li> </ol>
Building Surveyor/Technician (BST)	<ol style="list-style-type: none"> <li>1. The delegate is permitted only to exercise powers under ss 266, 267, 268, 272, 276, 277, 279 and 286 for dealing with development applications restricted to the functions and powers conferred to Council in its role as the assessing authority for “building works” as administered and exercised through the <i>Sustainable Planning Act 2009</i>.</li> <li>1. Approvals can only be made to the level provided for in this delegation and in accordance with the position holder’s current professionally recognised accreditation and licensing.</li> </ol>

**Relationship with Organisational Structure**

Furthermore, Council’s formal organisational structure applies and superior Council officers retain the formal authority to direct, override or amend decisions otherwise made under delegated powers.

**2. DEALING WITH REQUESTS FOR PARTIAL OR FULL APPLICATION FEE REFUNDS**

**Purpose**

The purpose is to provide a framework to assist the delegate with the exercise of discretionary fee refund powers as provided by section 109 of the *Planning Act 2016*. It should be noted that section 109 applies only to those fees that may be imposed by the local government in the assessment of an application, and not any other external or ancillary fees or charges that may be provided for elsewhere by the Act.

**Scope**

This Annexure is to be applied to any request by an applicant for partial or full fee refund of application assessment fees. It is not to be applied unless a request is received in writing from the applicant for a partial or full fee refund.

The guidance criteria do not apply to considerations that are external to those matters provided under section 109 of the Act, including requests to waive an application fee or in relation to fees that cannot be considered fees to assess an application.

Furthermore, the guidance criteria are not to be applied to circumstances where fee refunds are otherwise expressly forbidden by a Council resolution (including in the relevant Fees and Charges schedule).

**11.10 Council Monthly Financial Report for May 2025**

**Executive Officer:** Acting General Manager Council Sustainability

**Item Author:** Coordinator Financial Management

**Attachments:**

1. Monthly Financial Report May 2025 [↓](#) 

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**Councillor Portfolio / Representation**

Not applicable.

**Local Government Area Division**

This report relates to the whole Scenic Rim region.

**Executive Summary**

This report seeks Council's endorsement of the monthly financial report for May 2025.

**Recommendation**

That Council receive the Monthly Financial Report for May 2025.

**Previous Council Considerations / Resolutions**

Not applicable.

**Report / Background**

The monthly financial report provides information on Council's actual to budget performance. The graphical representation of key performance indicators provides key summary financial information.

**Budget / Financial Implications**

The budget/financial implications are reflected within Attachment 1.

**Strategic Implications***Operational Plan*

Theme: 3. Open and Responsive Government

Key Area of Focus: Ongoing integrity of Council's practice and processes

*Legal / Statutory Implications*

Section 204 of the *Local Government Regulation 2012* requires the Chief Executive Officer to present a financial report to Council on a monthly basis.

**Risks**

Strategic Risks

The following Level 1 and Level 2 (strategic) risks are relevant to the matters considered in this report:

SR47 Inadequate or lack of an appropriate Financial Management Framework (including systems, policies, procedures and controls) in place to adequately minimise risk of fraudulent action and to maximise financial sustainability.

Risk Summary

<b>Category</b>	<b>Explanation</b>
Financial/Economic Inaccurate or untimely management reporting	Actual performance is reported against budget on a monthly basis to the Executive Team and Council.
Financial/Economic Failure to develop and implement procedures to manage cash and investments	A Monthly investment report is provided to the Executive Team and Council that reports actual performance against investment limits.
Financial/Economic Failure to manage outstanding debtors	A Monthly debtors report is provided to the Executive Team and Council including a chart showing total outstanding debtors and debtors greater than 90 days overdue .

**Human Rights Implications**

No human rights have been impacted by any actions recommended in this report.

**Consultation**

The Executive Team and Managers have reviewed the actual to budget performance for their relevant portfolios.

**Conclusion**

The monthly financial report provides information on the actual to budget position at financial statement level.

**Options**

Option 1

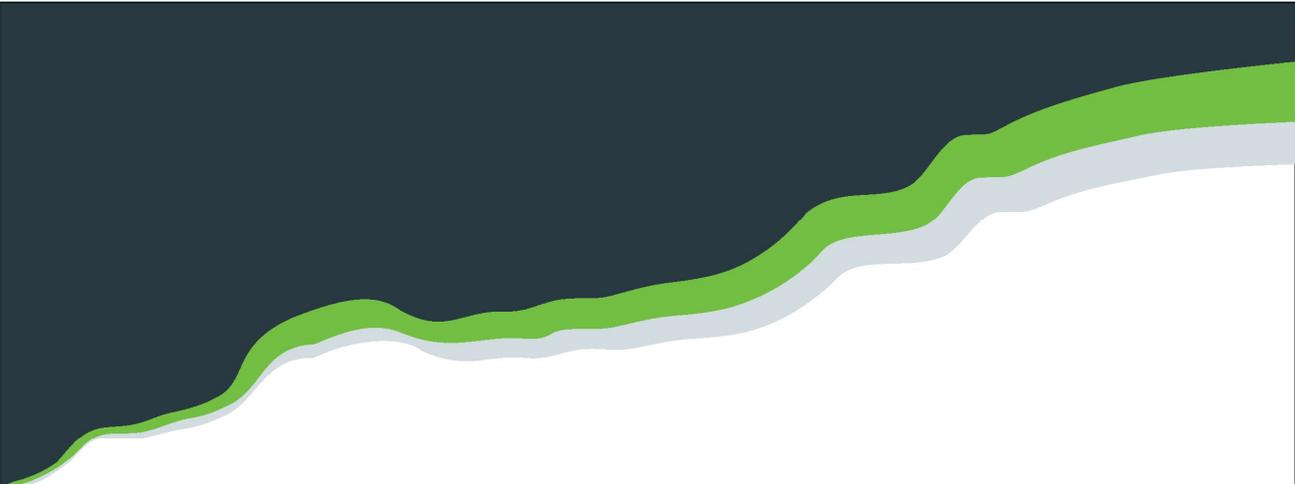
That Council receive the Monthly Financial Report for May 2025.

Option 2

That Council request further information or an amendment to Monthly Financial Report for May 2025.

Option 3

That Council not accept the Monthly Financial Report for May 2025.



**FINANCIAL PERFORMANCE AND POSITION**  
**PROGRESS REPORT**  
MAY 2025



## Executive Summary

The comparative budget used in this report is the March Budget Review adopted budget, whereas the April 2025 Report used the December Budget Review adopted budget.

Summary of the May 2025 Monthly Financial Report:

Net operating surplus / deficit: **\$1.428 million 16% higher than budgeted expectations**

- Operating revenue \$0.622 million lower than budgeted expectations.
- Operating expenditure \$2.050 million lower than budgeted expectations.

Operating revenue: **\$0.622 million 0.6% lower than budgeted expectations**

- Fees and charges are \$0.720 million 8% higher than budgeted expectations due largely to higher fees for building certification \$0.182 million and refuse tipping \$0.209 million.
- Other revenue is \$0.222 million below than anticipated mainly due to lower-than-expected Logan City Council waste charges (\$0.189M).

Operating expenditure: **\$2.050 million 2.1% lower than budgeted expectations**

- Employee expenses allocated to capital is \$0.614 million 14.8% higher than forecast with the variance principally in the area of Resources and Sustainability and Design and Survey.
- Materials and services are \$1.495 million 3.8% lower than forecast due largely to timing with expenditure for maintenance and operations (largely resheeting) and other materials and services. Disaster event emergency and counter disaster works are \$1.964 million higher than budget (grant funded). Fleet internal plant hire recoveries are lower than anticipated. Refer to Note 4 (Page 6 of 11) for more detail.

Capital expenditure: **\$18.405 million 23% lower than budgeted expectations**

- Largely due to timing with capital expenditure on grant funded programs \$4.266 million, Fleet Management \$5.622 million, Reseals \$2.864 million, Town Master Planning \$1.940 million and Waste Landfill – Central \$1.575 million.
- Refer to Note 5 (Page 7 of 11) for more detail.

Capital revenue: **\$15.987 million 32% lower than budgeted expectations**

- Capital grant revenue is \$17.933 million lower than anticipated largely due to timing with the receipt of disaster recovery funding (\$14.301 million). Local Roads and Community Infrastructure Program Funding is \$1.089 million lower than budgeted & Heavy Vehicle Safety and Productivity Program is \$2.500 million due to timing of the projects.
- Revenue from Infrastructure Charges is \$1.946 million higher than anticipated.
- Refer to Note 7 (Page 8 of 11) for more detail.

Statement of financial position

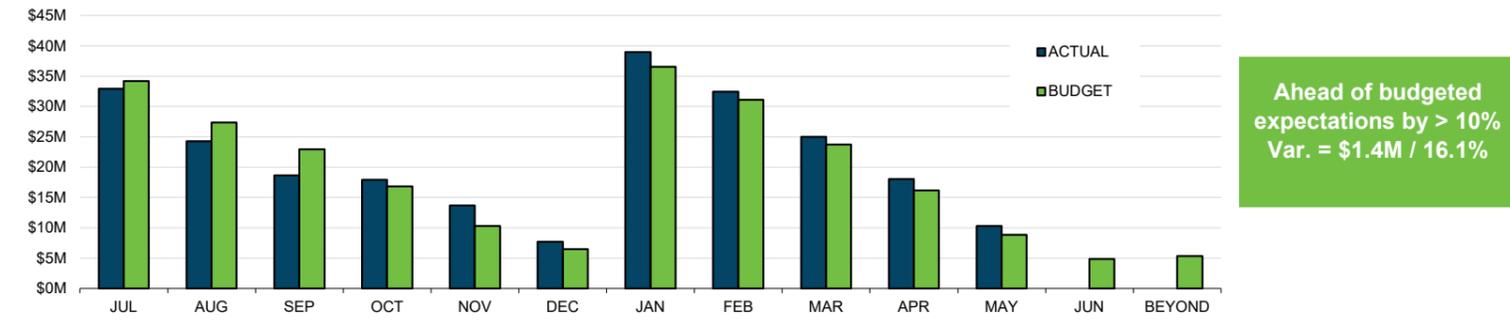
- Cash and investments: \$3.042 million higher than budgeted expectations largely due to higher than anticipated operating surplus, lower capital expenditure, lower capital revenue and movements in receivables and payables.

# Financial performance and position

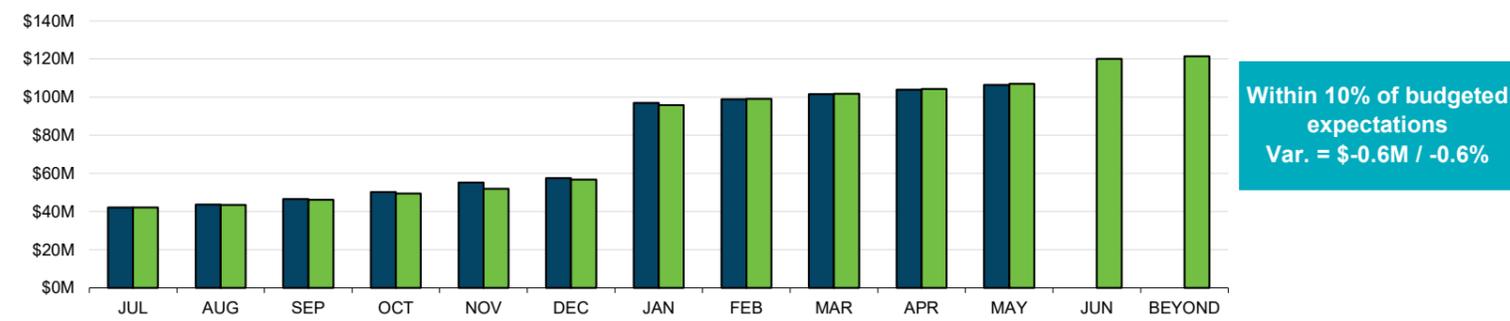


## 1. KEY PERFORMANCE INDICATORS

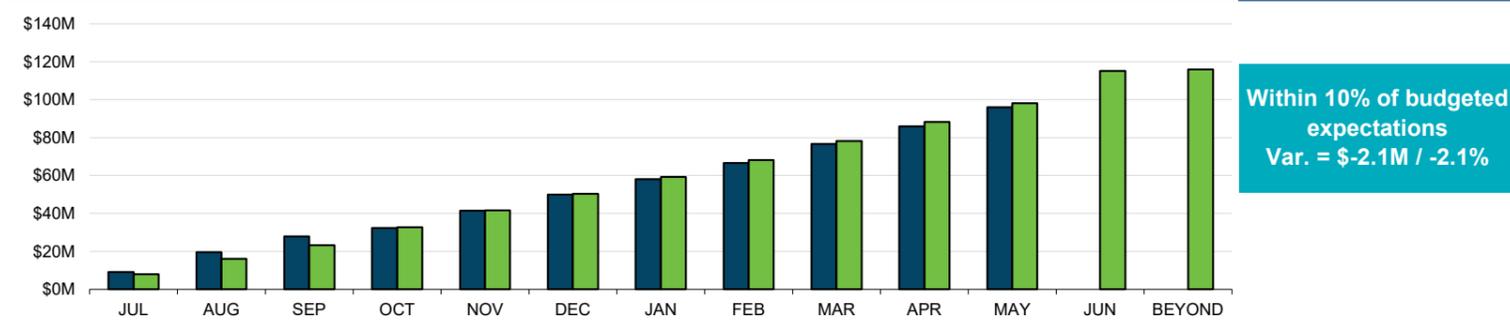
### Net operating surplus / (deficit)



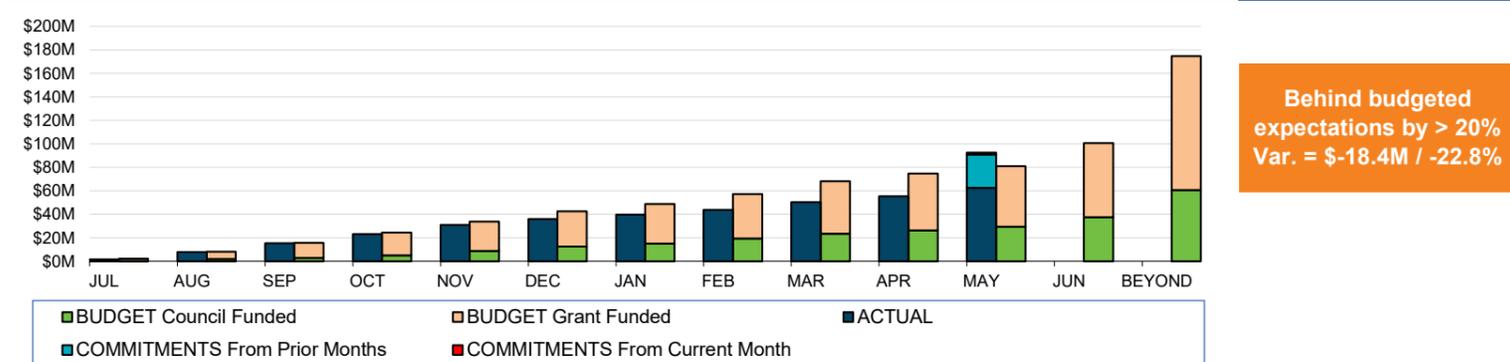
### Operating revenue



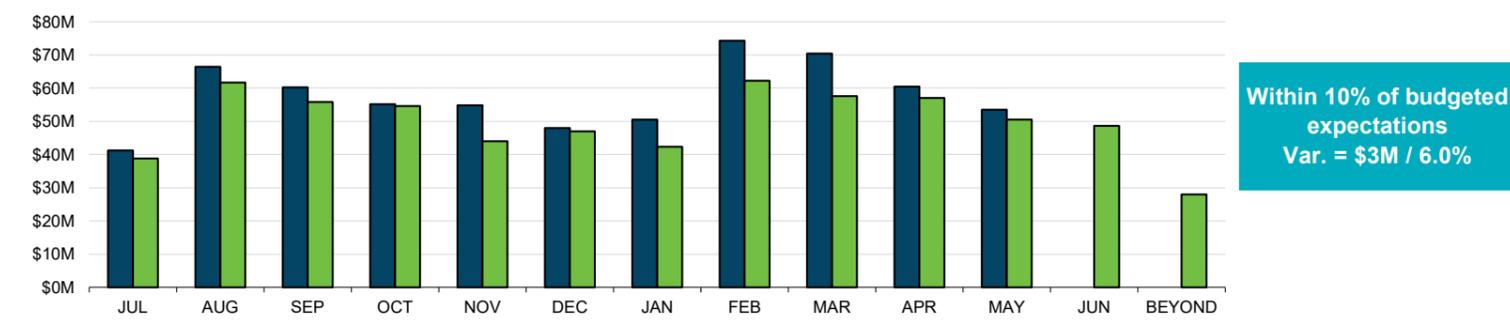
### Operating expenditure



### Capital expenditure



### Cash



**Legend:**

	<span style="display: inline-block; width: 15px; height: 10px; background-color: orange; border: 1px solid black;"></span> Negative Variance > 20%	<span style="display: inline-block; width: 15px; height: 10px; background-color: lightblue; border: 1px solid black;"></span> Within tolerance
	<span style="display: inline-block; width: 15px; height: 10px; background-color: yellow; border: 1px solid black;"></span> Negative Variance > 10%	<span style="display: inline-block; width: 15px; height: 10px; background-color: lightgreen; border: 1px solid black;"></span> Positive Variance > 10%

# Financial performance and position



## 2. STATEMENT OF COMPREHENSIVE INCOME

### STATEMENT OF COMPREHENSIVE INCOME For the Period Ending 31-May-2025

		Annual Original Budget \$000	Annual Revised Budget \$000	YTD Revised Budget \$000	YTD Actual \$000	YTD Variance \$000
<b>Operating revenue</b>						
Rates and utility charges	Note 1	\$73,706	\$73,566	\$73,566	\$73,499	(\$66)
Discounts and pensioner remissions		(\$2,117)	(\$2,117)	(\$2,117)	(\$2,110)	\$7
Fees and charges	Note 2	\$8,106	\$10,125	\$8,974	\$9,694	\$720
Interest received		\$3,853	\$4,543	\$4,170	\$4,092	(\$79)
Recoverable works		\$6,079	\$6,754	\$5,570	\$5,688	\$118
Grants, subsidies, contributions and donations		\$6,328	\$19,424	\$11,333	\$10,232	(\$1,101)
Share of profit from associates		\$2,721	\$2,721	\$0	\$0	\$0
Other revenues	Note 3	\$5,167	\$6,337	\$5,471	\$5,249	(\$222)
<b>Total Operating revenue</b>		<b>\$103,842</b>	<b>\$121,353</b>	<b>\$106,966</b>	<b>\$106,344</b>	<b>(\$622)</b>
<b>Operating expenditure</b>						
Employee expenses		\$48,344	\$46,444	\$41,591	\$41,741	(\$149)
Employee expenses allocated to capital		(\$7,501)	(\$5,053)	(\$4,139)	(\$4,753)	\$614
Net operating employee expenses		\$40,843	\$41,392	\$37,453	\$36,988	\$465
Materials and services	Note 4	\$40,054	\$51,252	\$39,390	\$37,895	\$1,495
Finance costs		\$1,230	\$1,230	\$960	\$945	\$15
Depreciation and amortisation		\$21,305	\$22,130	\$20,311	\$20,236	\$75
<b>Total Operating expenditure</b>		<b>\$103,431</b>	<b>\$116,004</b>	<b>\$98,114</b>	<b>\$96,064</b>	<b>\$2,050</b>
<b>NET OPERATING SURPLUS / (DEFICIT)</b>		<b>\$411</b>	<b>\$5,349</b>	<b>\$8,852</b>	<b>\$10,280</b>	<b>\$1,428</b>
<b>Capital revenue</b>						
Capital grants and subsidies		\$7,044	\$108,660	\$47,124	\$29,192	(\$17,933)
Infrastructure charges		\$2,535	\$3,000	\$2,588	\$4,533	\$1,946
<b>Total capital revenue</b>		<b>\$9,579</b>	<b>\$111,660</b>	<b>\$49,712</b>	<b>\$33,725</b>	<b>(\$15,987)</b>
<b>NET SURPLUS / (DEFICIT)</b>		<b>\$9,990</b>	<b>\$117,008</b>	<b>\$58,564</b>	<b>\$44,005</b>	<b>(\$14,559)</b>

# Financial performance and position



## 3. STATEMENT OF FINANCIAL POSITION

### STATEMENT OF FINANCIAL POSITION

As at 31-May-2025

	Annual Original Budget \$000	Annual Revised Budget \$000	YTD Revised Budget \$000	YTD Actual \$000	YTD Variance \$000
<b>Current assets</b>					
Cash and Investments	\$28,908	\$28,026	\$50,527	\$53,569	\$3,042
Receivables	\$8,100	\$12,100	\$12,100	\$12,235	\$135
Inventories	\$900	\$900	\$1,082	\$1,154	\$72
Other Current Assets	\$1,000	\$1,000	\$0	\$0	\$0
<b>Total current assets</b>	<b>\$38,908</b>	<b>\$42,026</b>	<b>\$63,709</b>	<b>\$66,958</b>	<b>\$3,249</b>
<b>Non-current assets</b>					
Receivables	\$14,676	\$14,676	\$14,676	\$14,676	\$0
Other Financial Assets	\$41,734	\$41,994	\$39,794	\$39,685	(\$109)
Property, Plant and Equipment and Intangibles	\$1,209,116	\$1,281,220	\$1,174,347	\$1,155,922	(\$18,425)
<b>Total non-current assets</b>	<b>\$1,265,526</b>	<b>\$1,337,890</b>	<b>\$1,228,817</b>	<b>\$1,210,283</b>	<b>(\$18,534)</b>
<b>TOTAL ASSETS</b>	<b>\$1,304,434</b>	<b>\$1,379,915</b>	<b>\$1,292,526</b>	<b>\$1,277,241</b>	<b>(\$15,285)</b>
<b>Current liability</b>					
Trade and Other Payables	\$7,000	\$11,000	\$5,000	\$4,311	\$689
Borrowings	\$2,465	\$2,465	\$0	\$0	\$0
Provisions	\$10,400	\$10,400	\$11,220	\$11,010	\$210
Other Current Liabilities	\$1,570	\$1,507	\$37	\$373	(\$336)
<b>Total current liability</b>	<b>\$21,435</b>	<b>\$25,372</b>	<b>\$16,257</b>	<b>\$15,694</b>	<b>(\$563)</b>
<b>Non-current liability</b>					
Borrowings	\$36,847	\$36,863	\$40,323	\$40,335	(\$12)
Provisions	\$4,219	\$4,219	\$2,712	\$2,712	\$0
Other Non-Current Liabilities	\$1,371	\$1,395	\$2,902	\$2,902	\$0
<b>Total non-current liability</b>	<b>\$42,437</b>	<b>\$42,477</b>	<b>\$45,937</b>	<b>\$45,949</b>	<b>\$12</b>
<b>TOTAL LIABILITIES</b>	<b>\$63,872</b>	<b>\$67,849</b>	<b>\$62,194</b>	<b>\$61,643</b>	<b>(\$551)</b>
<b>NET ASSETS</b>	<b>\$1,240,562</b>	<b>\$1,312,066</b>	<b>\$1,230,332</b>	<b>\$1,215,598</b>	<b>(\$14,734)</b>

# Financial performance and position



## 4. NOTES TO FINANCIAL STATEMENTS

### NOTE 1 - RATES AND UTILITY CHARGES ANALYSIS For the Period Ending 31-May-2025

	Annual Original Budget \$000	Annual Revised Budget \$000	YTD Revised Budget \$000	YTD Actual \$000	YTD Variance \$000
<b>Rates and utility charges</b>					
General Rates	\$51,364	\$51,164	\$51,164	\$50,875	(\$289)
Separate Charge Community Infrastructure	\$12,031	\$12,091	\$12,091	\$12,184	\$93
Waste Disposal Charge	\$675	\$675	\$675	\$664	(\$11)
Waste Collection Charge	\$9,636	\$9,636	\$9,636	\$9,776	\$140
<b>Total rates and utility charges</b>	<b>\$73,706</b>	<b>\$73,566</b>	<b>\$73,566</b>	<b>\$73,499</b>	<b>(\$66)</b>

### NOTE 2 - FEES AND CHARGES ANALYSIS For the Period Ending 31-May-2025

	Annual Original Budget \$000	Annual Revised Budget \$000	YTD Revised Budget \$000	YTD Actual \$000	YTD Variance \$000
<b>Fees and charges</b>					
Development Assessment	\$1,437	\$2,037	\$1,848	\$1,865	\$18
Plumbing Certification	\$1,467	\$2,107	\$1,924	\$1,933	\$10
Building Certification	\$444	\$444	\$314	\$497	\$182
Other Building and Property Related Revenue	\$968	\$1,347	\$1,249	\$1,340	\$91
Refuse Tipping Fees	\$1,812	\$2,106	\$1,769	\$1,978	\$209
Animal Management Licences	\$266	\$266	\$236	\$276	\$40
Food Licences	\$216	\$216	\$190	\$224	\$34
Cemetery Fees	\$437	\$437	\$401	\$420	\$19
Moogerah Caravan Park Fees	\$894	\$974	\$886	\$909	\$22
Other Fees and Charges	\$165	\$191	\$158	\$252	\$95
<b>Total fees and charges</b>	<b>\$8,106</b>	<b>\$10,125</b>	<b>\$8,974</b>	<b>\$9,694</b>	<b>\$720</b>

### NOTE 3 - OTHER REVENUES ANALYSIS For the Period Ending 31-May-2025

	Annual Original Budget \$000	Annual Revised Budget \$000	YTD Revised Budget \$000	YTD Actual \$000	YTD Variance \$000
<b>Other revenues</b>					
Logan City Council Waste Charges	\$3,065	\$3,065	\$2,554	\$2,365	(\$189)
Tax Equivalents - Urban Utilities	\$894	\$1,094	\$945	\$932	(\$13)
Other	\$1,208	\$2,178	\$1,972	\$1,952	(\$20)
<b>Total other revenues</b>	<b>\$5,167</b>	<b>\$6,337</b>	<b>\$5,471</b>	<b>\$5,249</b>	<b>(\$222)</b>

# Financial performance and position



## 4. NOTES TO FINANCIAL STATEMENTS CONTINUED

### NOTE 4 - MATERIALS AND SERVICES ANALYSIS For the Period Ending 31-May-2025

	Annual Original Budget \$000	Annual Revised Budget \$000	YTD Revised Budget \$000	YTD Actual \$000	YTD Variance \$000
<b>Materials and services</b>					
Subscriptions	\$399	\$467	\$394	\$358	(\$36)
IT Systems Maintenance	\$3,073	\$3,148	\$2,791	\$2,590	(\$200)
Office Expenditure	\$707	\$773	\$682	\$572	(\$110)
Recoverable Works	\$3,087	\$3,488	\$2,677	\$3,027	\$351
Disaster Event Emergent Works & CDO	\$0	\$1,995	\$1,000	\$2,964	\$1,964
Fleet IPH Recoveries	(\$12,359)	(\$12,007)	(\$11,137)	(\$10,295)	\$841
Grants	\$650	\$676	\$618	\$524	(\$93)
Legal Expenses	\$1,636	\$2,681	\$2,353	\$2,312	(\$40)
Waste Collection Contract	\$3,091	\$3,091	\$2,556	\$2,352	(\$203)
Insurance	\$713	\$774	\$770	\$798	\$28
Economic Development	\$1,434	\$1,518	\$1,216	\$612	(\$603)
Maintenance and Operations	\$25,215	\$25,881	\$22,224	\$20,515	(\$1,710)
721600 - Road Maintenance	\$4,956	\$4,956	\$4,337	\$4,208	(\$130)
721601 - Bridge Maintenance	\$520	\$351	\$282	\$230	(\$52)
721611 - Urban Approaches and Town Centres Maintenance	\$510	\$510	\$493	\$813	\$321
721612 - Road Furniture Projects	\$130	\$110	\$101	\$27	(\$74)
721613 - Resheeting	\$1,692	\$1,342	\$1,200	\$255	(\$945)
721614 - Shoulder Resheeting	\$570	\$570	\$523	\$290	(\$233)
729283 - Weed Treatment Council Roadsides	\$9	\$9	\$8	\$6	(\$2)
729316 - Road Corridor Management	\$67	\$67	\$61	\$4	(\$57)
EXP20112-M&O-Parks, Gardens, Cemeteries	\$2,272	\$2,344	\$2,134	\$2,037	(\$97)
EXP20113-M&O-Fleet	\$4,004	\$4,063	\$3,728	\$3,744	\$16
EXP20114-M&O-Waste Disposal	\$4,189	\$4,913	\$3,778	\$3,624	(\$153)
EXP20125-M&O-Facility Operations	\$4,693	\$4,838	\$4,194	\$4,172	(\$22)
EXP20126-M&O-Facility Maintenance	\$1,430	\$1,762	\$1,343	\$1,048	(\$295)
EXP20127-M&O-Facility Maintenance Scheduled	\$174	\$46	\$42	\$56	\$14
Transfer Station Operations	\$901	\$1,055	\$1,002	\$917	(\$85)
Grant Funded Expenditure	\$599	\$3,959	\$1,037	\$1,479	\$442
Other Material and Services	\$10,910	\$13,756	\$11,208	\$9,169	(\$2,039)
721150 - SRRC Planning Scheme	\$200	\$200	\$170	\$31	(\$139)
723002 - The Centre Operating Expenses	\$144	\$144	\$131	\$83	(\$48)
723004 - Boonah Cultural Centre Operation	\$99	\$99	\$96	\$61	(\$36)
729148 - Asset Condition Assessments	\$430	\$278	\$151	\$3	(\$148)
729200 - Internal Charge - Vehicle Allocation	\$2,178	\$2,274	\$2,083	\$1,880	(\$203)
723010 - Vonda Youngman Community Centre Operations	\$67	\$73	\$72	\$26	(\$46)
729103 - Surveying Expenses	\$98	\$98	\$86	\$30	(\$56)
729125 - Disaster Management Planning	\$40	\$65	\$6	\$54	\$49
729157 - Contractor/Agency Staff	\$85	\$858	\$794	\$944	\$150
729210 - Organisational Development	\$0	\$102	\$102	\$313	\$211
729255 - Offsite Storage	\$169	\$205	\$142	\$106	(\$36)
729258 - Road Closure / Open	\$100	\$163	\$55	\$0	(\$55)
729264 - Flood Modelling	(\$500)	(\$500)	(\$459)	\$0	\$459
729288 - Scenic Rim One Million Trees	\$352	\$378	\$350	\$153	(\$197)
729320 - Sport & Recreation Capital Works Study	\$430	\$421	\$361	\$267	(\$94)
729359 - Community Development and Youth Program	\$2	\$41	\$38	\$0	(\$38)
729375 - Property and Lightpole Integrity and Safety Testing Audit	\$54	\$54	\$44	\$0	(\$44)
729381 - Enterprise Bargaining / Certified Agreement	\$100	\$508	\$399	\$340	(\$58)
729440 - QA System Review & Audit	\$70	\$70	\$60	\$0	(\$60)
729449 - Online Community Engagement Tool	\$66	\$66	\$61	\$0	(\$61)
729451 - Workplace Culture & Engagement Survey	\$150	\$150	\$150	\$77	(\$73)
729464 - Beaudesert Enterprise Precinct Sales Costs	\$0	\$0	\$0	\$122	\$122
729470 - Waste Oil Separator Service	\$93	\$93	\$93	\$0	(\$93)
729473 - Expenditure Subject to Insurance Claims	\$375	\$255	\$155	\$88	(\$67)
729498 - Promotion and Community Engagement	\$165	\$253	\$253	\$2	(\$250)
729540 - Docusign	\$162	\$162	\$162	\$0	(\$162)
729541 - External Safety & CoR Audits	\$300	\$200	\$200	\$0	(\$200)
729542 - ICT Security Enhancements	\$30	\$266	\$150	\$0	(\$150)
729548 - Project Management Framework Review	\$0	\$50	\$50	\$0	(\$50)
729555 - Biosecurity Education Partnership	\$0	\$115	\$97	\$8	(\$89)
729558 - Works at Hereford St Depot Stockpile Site	\$0	\$80	\$80	\$13	(\$67)
Miscellaneous	\$5,452	\$6,537	\$5,077	\$4,566	(\$512)
<b>Total materials and services</b>	<b>\$40,054</b>	<b>\$51,252</b>	<b>\$39,390</b>	<b>\$37,895</b>	<b>(\$1,495)</b>

# Financial performance and position

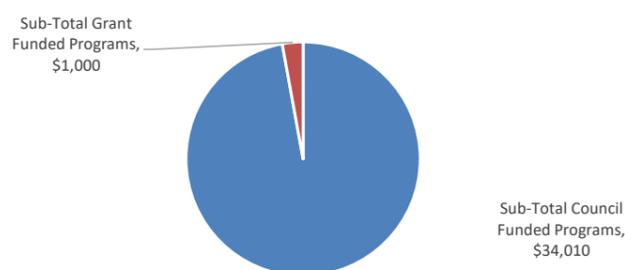


## 5. CAPITAL EXPENDITURE

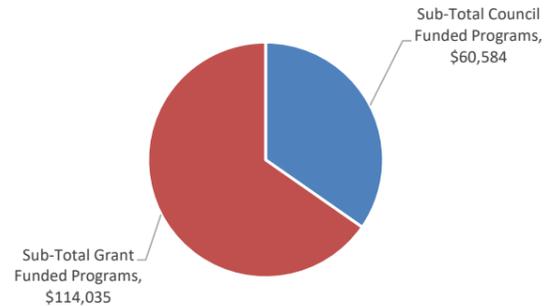
For the Period Ending 31-May-2025

	Annual	Annual	YTD	YTD	YTD	Beyond	
	Commitments	Original	Revised	Revised	Actual	Variance	Beyond
	\$000	Budget \$000	Budget \$000	Budget \$000	\$000	\$000	June 2025 Revised Budget \$000
Council Wide Transactions	\$0	\$0	\$4,507	\$0	\$0	\$0	\$4,507
Library Services	\$29	\$257	\$283	\$262	\$237	(\$25)	\$0
Cultural Services	\$66	\$112	\$239	\$127	\$96	(\$31)	\$0
Facilities Maintenance	\$601	\$1,884	\$4,164	\$1,109	\$1,128	\$19	\$2,146
Parks and Landscape Maintenance	\$77	\$620	\$1,138	\$458	\$60	(\$398)	\$291
Waste Services	\$0	\$35	\$58	\$23	\$0	(\$23)	\$0
Waste Landfill - Central	\$285	\$842	\$2,406	\$1,924	\$350	(\$1,575)	\$0
Property Management	\$32	\$392	\$1,518	\$1,506	\$706	(\$799)	\$0
Design and Survey	\$28	\$468	\$468	\$53	\$30	(\$23)	\$0
Waste Transfer Stations	\$42	\$358	\$614	\$307	\$12	(\$296)	\$245
Town Master Planning	\$1,566	\$2,238	\$10,343	\$6,511	\$4,571	(\$1,940)	\$3,444
Road Maintenance	\$3	\$0	\$542	\$244	\$208	(\$35)	\$0
Capital Works	\$1,119	\$12,340	\$12,420	\$1,529	\$1,308	(\$221)	\$9,566
Structures and Drainage	\$192	\$2,605	\$4,406	\$1,865	\$1,573	(\$292)	\$1,668
Fleet Management	\$1,833	\$6,385	\$11,712	\$7,820	\$2,198	(\$5,622)	\$1,060
Facilities Management	\$0	\$0	\$14	\$14	\$0	(\$14)	\$0
Reseals	\$2,239	\$5,475	\$5,751	\$5,736	\$2,872	(\$2,864)	\$0
Sub-Total Council Funded Programs	\$8,112	\$34,010	\$60,584	\$29,487	\$15,348	(\$14,139)	\$22,927
Grant Funded Programs							
Grant-Disaster Recovery Funding Arrangements (DRFA)	\$78	\$1,000	\$2,165	\$1,699	\$550	(\$1,150)	\$351
Declared Event - Southern Qld Severe Weather 20-31 Mar 2021	\$396	\$0	\$1,659	\$1,659	\$2,035	\$376	\$0
Declared Event - November 2021	\$500	\$0	\$577	\$496	\$257	(\$239)	\$0
REPA - SEQ Rainfall and Flooding, 22-28 Feb 2022	\$4,703	\$0	\$24,908	\$16,458	\$15,879	(\$578)	\$7,644
REPA - 13 May 2022 Heavy Rainfall Event	\$2,802	\$0	\$10,859	\$8,403	\$6,700	(\$1,703)	\$2,456
QRA Community and Recreational Assets Rec and Res Program	\$575	\$0	\$4,367	\$1,866	\$642	(\$1,223)	\$0
Declared Event - Sth Qld Severe Storms 24 Dec 23 to 3 Jan 24	\$455	\$0	\$6,947	\$802	\$250	(\$553)	\$4,780
Declared Event - Tropical Cyclone Kirrily 25 Jan - 26 Feb 24	\$2,698	\$0	\$17,885	\$2,204	\$3,324	\$1,121	\$12,173
Declared Event-Tropical Cyclone Alfred, 1-16 March 25	\$14	\$0	\$6,000	\$0	\$6	\$6	\$5,850
Grant Funded-Australian Cricket Infrastructure Fund	\$80	\$0	\$40	\$40	\$0	(\$40)	\$0
Grant Funded-Beaudesert Town Centre Redevelopment	\$46	\$0	\$3,025	\$3,025	\$3,097	\$73	\$0
Grant Funded-Bridge Renewal Program	\$5,782	\$0	\$12,356	\$5,583	\$5,640	\$57	\$5,378
Grant Funded-Black Spot Program	\$285	\$0	\$1,211	\$105	\$96	(\$9)	\$1,096
Grant Funded-Emergency Response Fund	\$329	\$0	\$3,732	\$236	\$253	\$17	\$2,786
Grant Funded-Growing Regions Program	\$10	\$0	\$0	\$0	\$58	\$58	\$0
Grant Funded-Local Govt Grants and Subsidies Program	\$680	\$0	\$1,793	\$1,693	\$1,770	\$78	\$0
Grant Funded-Local Roads and Community Infrastructure Program	\$1,472	\$0	\$5,765	\$5,274	\$4,621	(\$653)	\$0
Grant Funded-Minor Infrastructure and Inclusive Facilities F	\$284	\$0	\$359	\$359	\$2	(\$357)	\$0
Grant Funded-Play Our Way program	\$0	\$0	\$1,421	\$0	\$2	\$2	\$1,321
Grant Funded-Qld Bushfires Local Economic Recovery (LER) Pr	\$315	\$0	\$31	\$21	\$14	(\$6)	\$0
Grant Funded-SEQ Community Stimulus Program 2021-2024	\$87	\$0	\$1,282	\$1,282	\$1,383	\$101	\$0
Grant Funded-SEQ Community Stimulus Program 2024-2027	\$223	\$0	\$4,750	\$20	\$412	\$392	\$4,700
SEQ Liveability Fund CDLF0009	\$0	\$0	\$2,760	\$50	\$2	(\$48)	\$2,560
Grant Funded-School Transport Infrastructure Program	\$0	\$0	\$139	\$139	\$139	(\$0)	\$0
Sub-Total Grant Funded Programs	\$21,821	\$1,000	\$114,035	\$51,415	\$47,148	(\$4,266)	\$51,095
<b>Total capital expenditure</b>	<b>\$29,933</b>	<b>\$35,010</b>	<b>\$174,619</b>	<b>\$80,902</b>	<b>\$62,496</b>	<b>(\$18,405)</b>	<b>\$74,022</b>

Capital Program - Council v Grant Funded Annual Original Budget



Capital Program - Council v Grant Funded Annual Revised Budget



# Financial performance and position



## 6. PROCEEDS FROM ASSET SALES

For the Period Ending 31-May-2025

	Annual Original Budget \$000	Annual Revised Budget \$000	YTD Revised Budget \$000	YTD Actual \$000	YTD Variance \$000	Beyond June 2025 Revised Budget \$000
Property Management	\$6,515	\$15,802	\$7,677	\$9,409	\$1,732	\$2,950
Fleet Management	\$1,126	\$2,561	\$2,131	\$568	(\$1,563)	\$219
<b>Total proceeds from asset sales</b>	<b>\$7,641</b>	<b>\$18,363</b>	<b>\$9,808</b>	<b>\$9,976</b>	<b>\$169</b>	<b>\$3,169</b>

## 7. CAPITAL REVENUE - CAPITAL GRANTS, SUBSIDIES, CONTRIBUTIONS AND DONATIONS

For the Period Ending 31-May-2025

	Annual Original Budget \$000	Annual Revised Budget \$000	YTD Revised Budget \$000	YTD Actual \$000	YTD Variance \$000
621003 - State Library Grant	\$211	\$211	\$158	\$151	(\$7)
621005 - Transport Infrastructure Development Scheme (TIDS)	\$744	\$744	\$744	\$100	(\$644)
621006 - Roads to Recovery	\$1,089	\$1,089	\$750	\$0	(\$750)
621032 - Grant-Blackspot Funding	\$0	\$661	\$0	\$8	\$8
621038 - Bridge Renewal Program	\$0	\$9,150	\$4,644	\$5,642	\$997
621041 - Building Better Regions Grant Funding	\$0	\$3,102	\$2,873	\$2,873	\$0
621044 - Building Our Regions	\$0	\$950	\$950	\$750	(\$200)
621049 - Local Roads and Community Infrastructure Program Funding	\$0	\$3,158	\$1,089	\$0	(\$1,089)
621055 - Heavy Vehicle Safety and Productivity Program (HVSP)	\$5,000	\$5,000	\$2,500	\$0	(\$2,500)
621058 - Grant-2021-2024 SEQ Community Stimulus Program	\$0	\$1,995	\$1,995	\$1,995	\$0
621059 - DRFA - REPA Southern Qld Severe Weather, 20-31 March 2021	\$0	\$3,829	\$3,742	\$130	(\$3,612)
621061 - DRFA - REPA Subsidy November 2021	\$0	\$872	\$712	\$166	(\$546)
621063 - DRFA - REPA SEQ Rainfall and Flooding, 22-28 February 2022	\$0	\$28,284	\$18,853	\$11,522	(\$7,332)
621064 - DRFA - REPA Southern Qld Flooding Event, 6-20 May 2022	\$0	\$14,448	\$12,206	\$7,402	(\$4,804)
621065 - LGGSP-Safety Upgrades on Tarome Road	\$0	\$842	\$0	\$0	\$0
621066 - STIP - School Transport Infrastructure Program	\$0	\$41	\$0	\$0	\$0
621071 - ERF-Emergency Response Fund	\$0	\$2,202	\$9	\$0	(\$9)
621072 - CRARRP-Community and Recreational Asset Recovery and Resilie	\$0	\$3,606	\$0	\$0	\$0
621073 - QFFFGR1-Flexible Funding Grant	\$0	\$9	\$9	\$15	\$6
621074 - ACIF-Australian Cricket Infrastructure Fund	\$0	\$4	\$0	\$0	\$0
621075 - DRFA - REPA Sth Qld Severe Storms 24 Dec 23 to 3 Jan 24	\$0	\$7,169	\$928	\$2,367	\$1,439
621076 - Minor Infrastructure and Inclusive Facilities Funding MIIFF	\$0	\$125	\$0	\$0	\$0
621078 - QRA FWIN Projects & Technical Resource for Non-Bureau assets	\$0	\$235	\$90	\$90	\$0
621079 - SEQ Liveability Fund - City Deal allocation CDLF0009	\$0	\$2,760	\$360	\$828	\$468
621080 - DRFA - IRW - Tropical Cyclone Kirrily 25 Jan 24 to 26 Feb 24	\$0	\$65	\$65	\$65	\$0
621081 - DRFA - REPA - Tropical Cyclone Kirrily 25 Jan 24 to 26 Feb24	\$0	\$17,820	\$4,974	\$5,122	\$147
621082 - Grant-2024-2027 SEQ Community Stimulus Program	\$0	\$6,850	\$3,425	\$3,425	\$0
621083 - DRFA - REPA - Nov 2024 Storms and Rainfall	\$0	\$0	\$0	\$407	\$407
621084 - Grant-Play Our Way Program	\$0	\$1,138	\$342	\$342	(\$0)
621085 - DRFA - REPA - Tropical Cyclone Alfred, 1-16 March 2025	\$0	\$6,000	\$0	\$0	\$0
621098 - Capital Grants AASB1058 Accrual Adjustment	\$0	(\$14,388)	(\$14,388)	(\$14,388)	\$0
621099 - Other Capital Grants and Subsidies	\$0	\$93	\$93	\$103	\$10
621101 - Infrastructure Charges	\$2,535	\$3,000	\$2,588	\$4,533	\$1,946
621104 - Contributions Tied to Specific Projects	\$0	\$595	\$0	\$15	\$15
621107 - Road Maintenance Levy - Sandy Creek Road	\$0	\$0	\$0	\$63	\$63
<b>Total Capital Revenue - Capital Grants, Subsidies, Contributions And Don</b>	<b>\$9,579</b>	<b>\$111,660</b>	<b>\$49,712</b>	<b>\$33,725</b>	<b>(\$15,987)</b>

# Financial performance and position



## 8. INVESTMENTS

### INVESTMENTS

As at 30-Apr-2025

#### INVESTMENTS HELD BY COUNCIL

Financial Institution	Type	Principal \$'000	Interest Rate	Maturity Date	Days to Maturity	S&P Short Term Rating
Queensland Treasury Corporation	On Call	\$38,966	4.51%	31/05/2025	0	A1+
Bendigo & Adelaide Bank - Canungra	Term Depos	\$1,000	5.07%	2/06/2025	2	A2
Bendigo & Adelaide Bank - Kalbar	Term Depos	\$1,000	4.75%	11/08/2025	72	A2
Bendigo & Adelaide Bank - Beaudesert	Term Depos	\$1,000	4.45%	29/10/2025	151	A2
Suncorp Metway Limited-Corporate	Term Depos	\$3,000	5.10%	7/07/2025	37	A1
Suncorp Metway Limited-Corporate	Term Depos	\$5,000	5.14%	2/06/2025	2	A1
Suncorp Metway Limited-Corporate	Term Depos	\$5,000	4.73%	4/11/2025	157	A1
Amp Bank - Corporate	Term Depos	\$2,000	5.20%	18/06/2025	18	A2
Judo Bank - Corporate	Term Depos	\$2,000	5.15%	20/06/2025	20	A2

<b>Total investments</b>		<b>\$58,966</b>				
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Cash in bank accounts	On Call	\$485	3.85%	31/05/2025	0	A1+
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<b>Total cash</b>		<b>\$485</b>				
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<b>TOTAL CASH AND INVESTMENTS</b>		<b>\$59,451</b>	Varies from Statement of Financial Position due to cash in Trust and reconciling items.			
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#### INVESTMENT INTEREST RATE PERFORMANCE

Weighted Average Interest Rate	4.66%
Target Interest Rate (RBA cash rate)	3.85%
Investment Policy Adhered to?	Yes

#### ESTIMATE OF RESTRICTED CASH

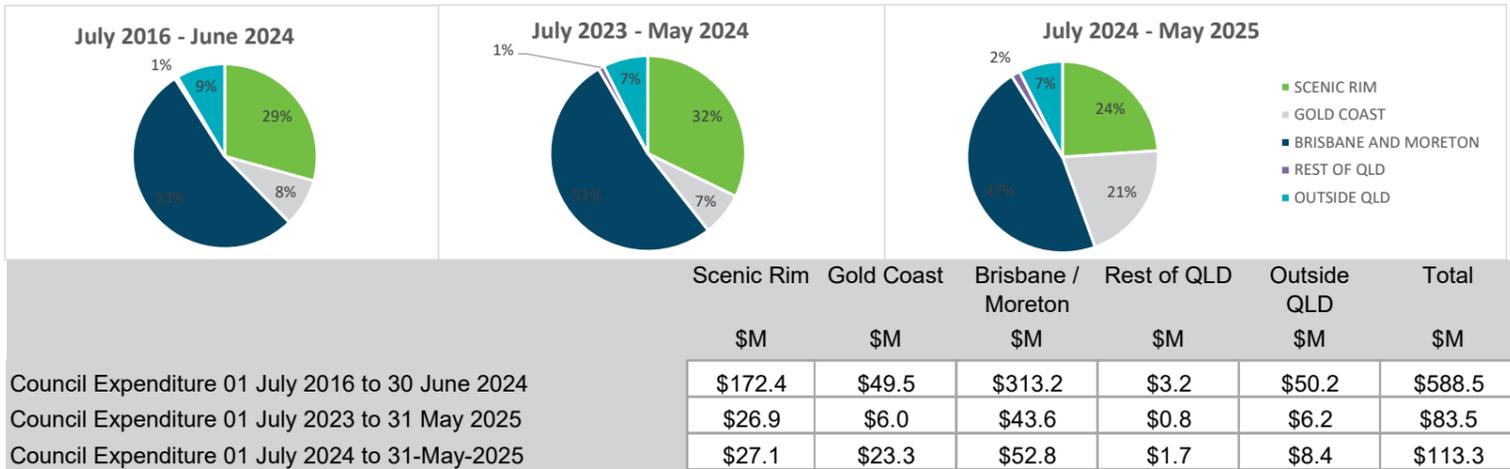
EXTERNAL RESTRICTIONS	\$'000
Loan draw down but not yet expended	\$5,767
Operating grant funding received but not yet expended	\$1,798
Domestic waste levy refund received in advance	\$2,902
Infrastructure charges received in prior years not expended	\$7,449
Cash held in trust account	\$5,874
<b>Total estimated restricted cash</b>	<b>\$23,790</b>

# Financial performance and position



**9. ADDITIONAL INFORMATION**

**COUNCIL EXPENDITURE BY LOCATION**

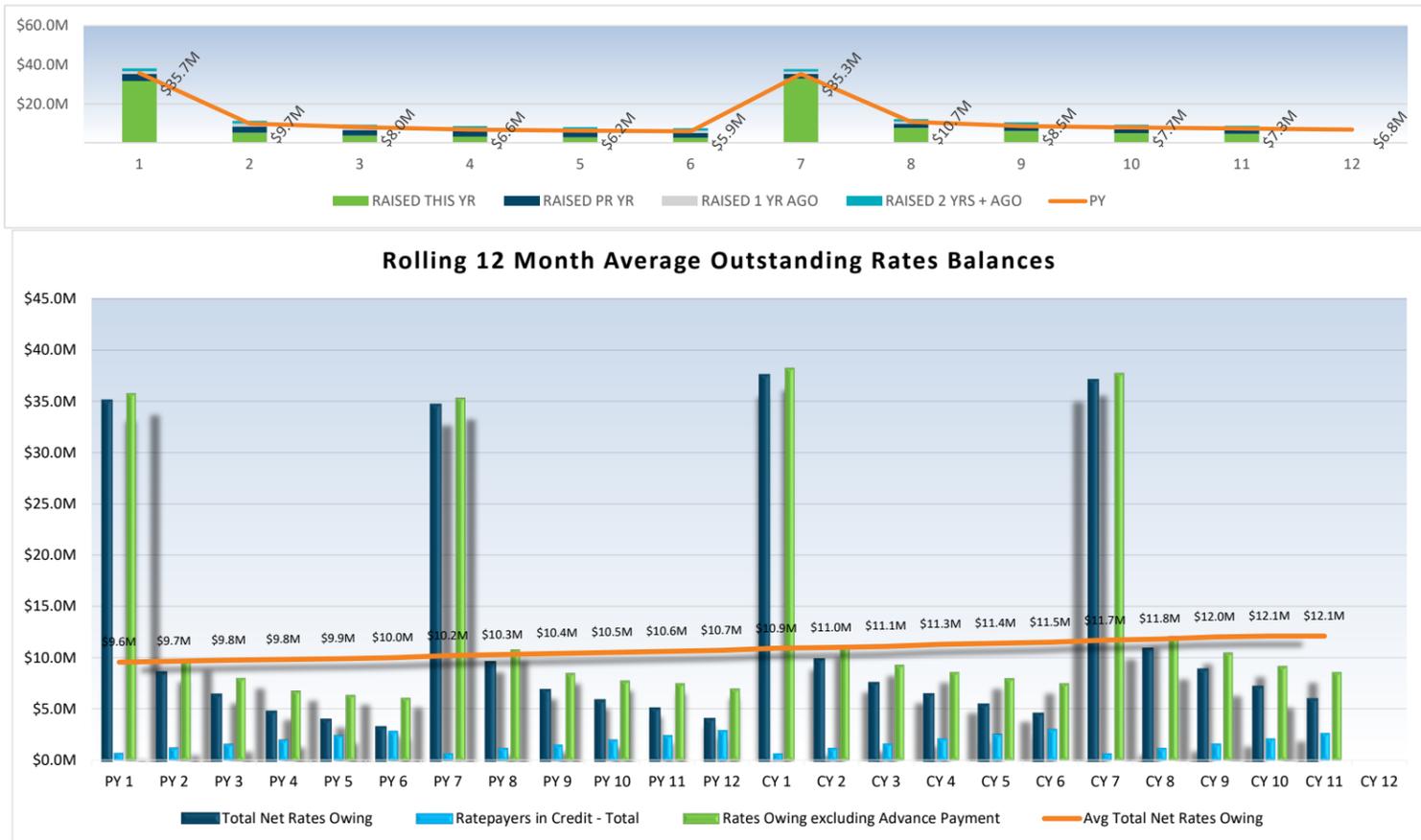


**HARDSHIP APPLICATIONS**

	Financial	Drought	Bushfires	Flood
2023-2024 Applications Approved	3	0	0	0
2024-2025 Current Month				
Applications Sent (excludes direct download from website)	2	0	0	0
Applications Received	0	0	0	0
Applications Approved	0	0	0	0
Applications Currently Under Review	0	0	0	0
Applications Ineligible / Withdrawn	0	0	0	0

**10. DEBTORS**

**OUTSTANDING RATES DEBTORS**

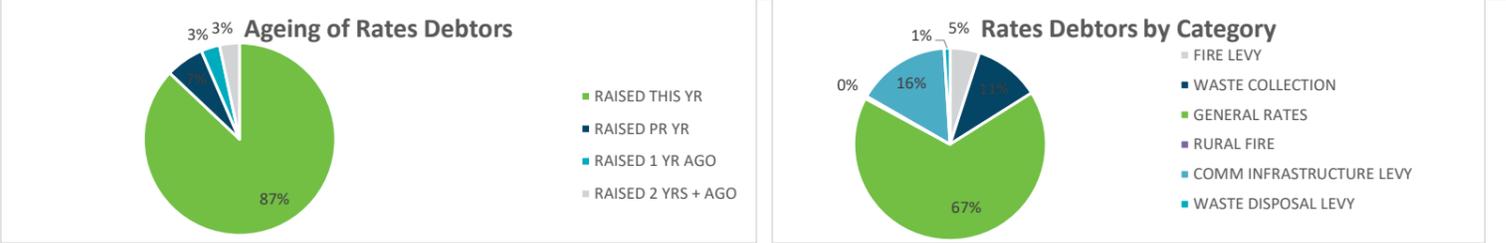


# Financial performance and position



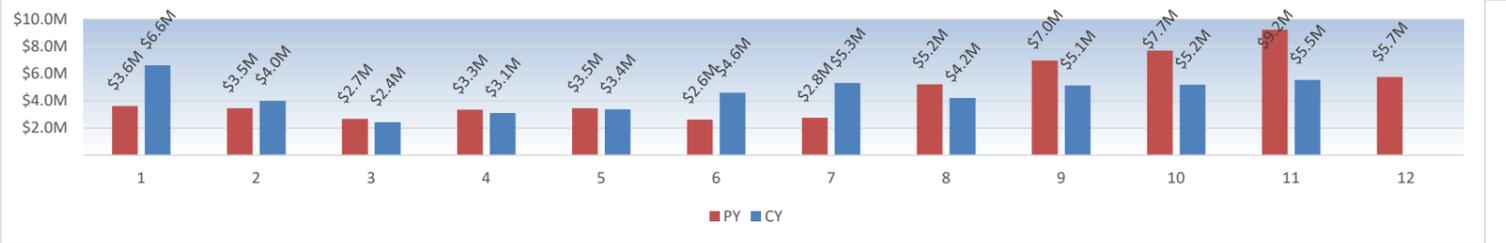
**10. DEBTORS**

**OUTSTANDING RATES DEBTORS CONTINUED**

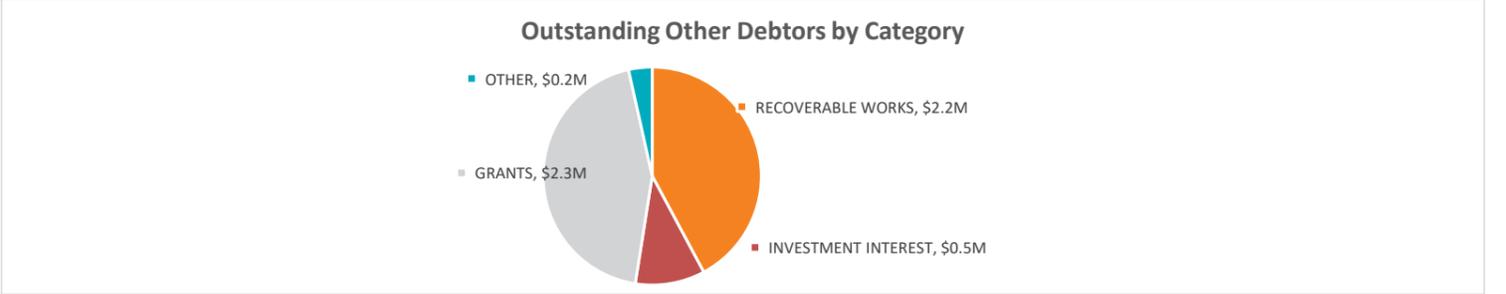


Outstanding Rates Debtors by Category	As at 31-May-2025		As at 31-May-2024	
	Total Levy \$'000	Current Levy \$'000	Total Levy \$'000	Current Levy \$'000
Fire Levy	\$433	\$224	\$393	\$237
Waste Collection	\$969	\$513	\$782	\$457
General Rates	\$5,835	\$2,979	\$5,086	\$2,982
Planning - Infrastructure Charges	\$0	\$0	\$41	\$0
Rural Fire	\$38	\$21	\$32	\$20
Community Infrastructure Levy	\$1,371	\$747	\$1,096	\$659
Waste Disposal Levy	\$86	\$44	\$73	\$42
<b>Total rates debtors outstanding</b>	<b>\$8,732</b>	<b>\$4,528</b>	<b>\$7,504</b>	<b>\$4,396</b>

**OUTSTANDING OTHER DEBTORS**



*Example:* Recoverable Works, Interest Receivable, Tipping Fees, etc.



**12 Confidential Matters****12.1 Proposed Discontinuance of Waste Asset Development, Operations and Services Project [Closed s.254J(3)(g)]**

**Executive Officer:** Manager Coordinator Asset Management /  
Acting General Manager Asset and Environmental Sustainability

**Item Author:** Principal Specialist Property Management /  
Acting Manager Resources and Sustainability

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This report is **CONFIDENTIAL** in accordance with Section 254J(3)(g) of the *Local Government Regulation 2012*, which permits the meeting to be closed to the public for business relating to the following:

- (g) negotiations relating to a commercial matter involving the local government for which a public discussion would be likely to prejudice the interests of the local government.

**12.2 Update - Jaykai No.2 Family Trust v Scenic Rim Regional Council (P&E No.436 of 2023) [Closed s.254J(3)(e)]**

**Executive Officer:** Acting General Manager Customer and Regional Prosperity

**Item Author:** Principal Specialist Development Assessment and Engineering /  
Manager Regional Development Health and Biodiversity

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This report is **CONFIDENTIAL** in accordance with Section 254J(3)(e) of the *Local Government Regulation 2012*, which permits the meeting to be closed to the public for business relating to the following:

- (e) legal advice obtained by the local government or legal proceedings involving the local government including, for example, legal proceedings that may be taken by or against the local government.